

700 E. PRATT ST, SUITE 1200

BALTIMORE, MD 21202 MK CONSULTING ENGINEERS, LLC

LANDSCAPE ARCHITECT HORD COPLAN MACHT, INC. 700 E. PRATT ST, SUITE 1200

MOYA DESIGN PARTNERS WASHINGTON, DC 20036

STRUCTURAL ENGINEER CARROL ENGINEERING, INC. 215 SCHILLING CIRCLE, SUITE 102

BALA CONSULTING ENGINEERS, INC. 8140 CORPORATE DRIVE, SUITE 150 401 PARK AVENUE SOUTH, 10TH FL

PORTER KHOUW CONSULTING, INC.

1672 VILLAGE GREEN, P.O. BOX 4028

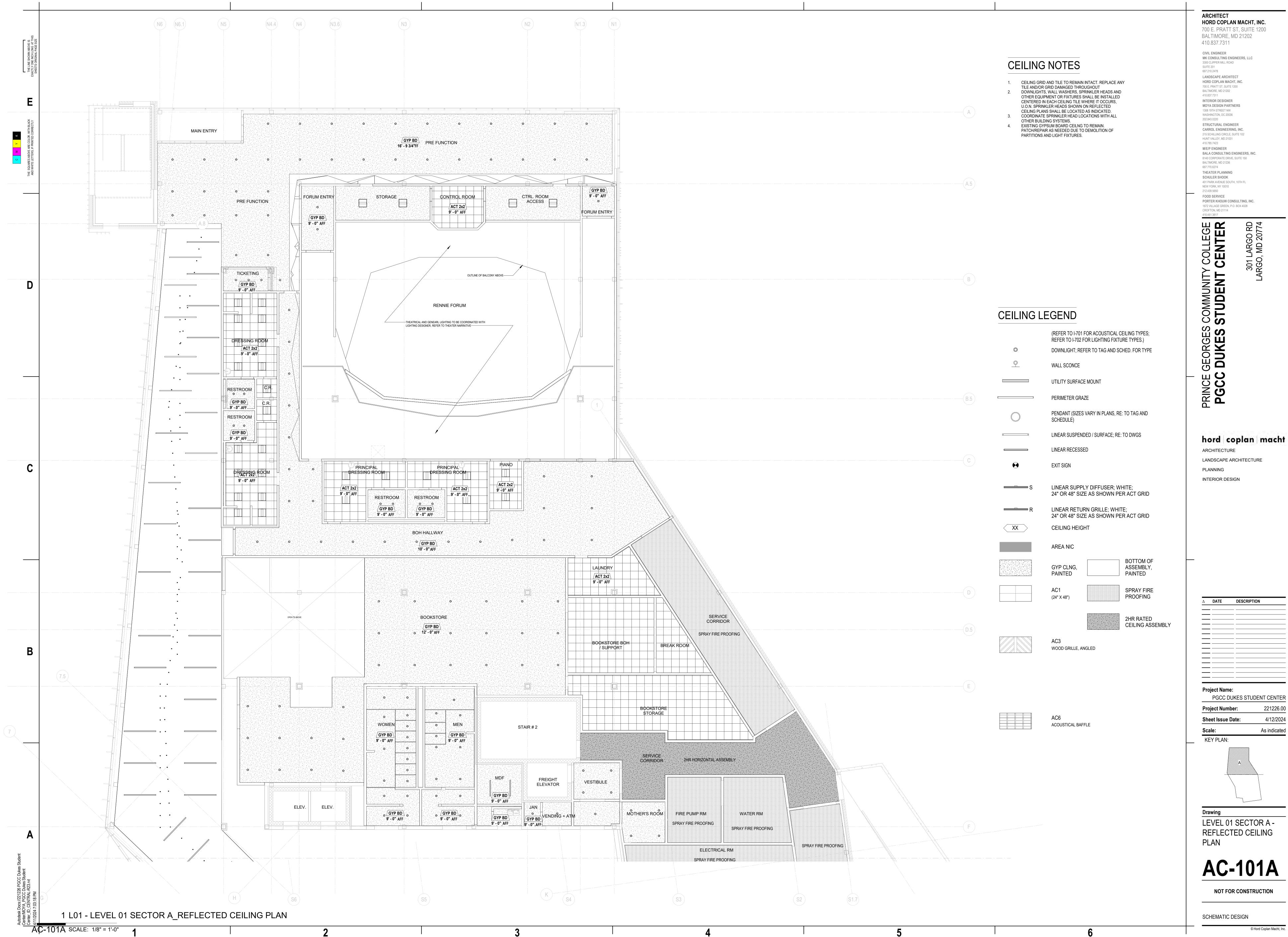
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LANDSCAPE ARCHITECTURE

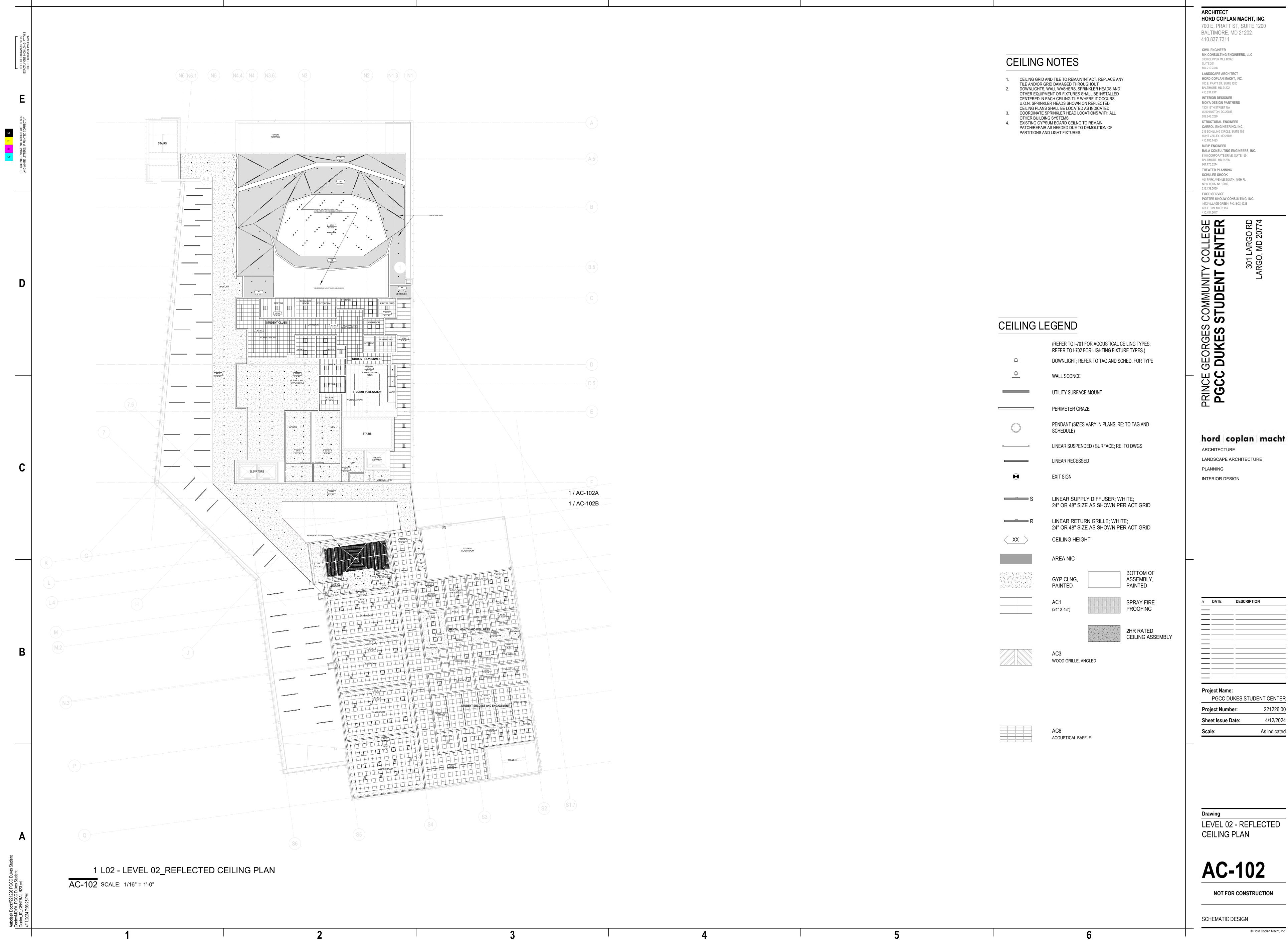
INTERIOR DESIGN

PGCC DUKES STUDENT CENTER 221226.00 4/12/2024 As indicated

NOT FOR CONSTRUCTION

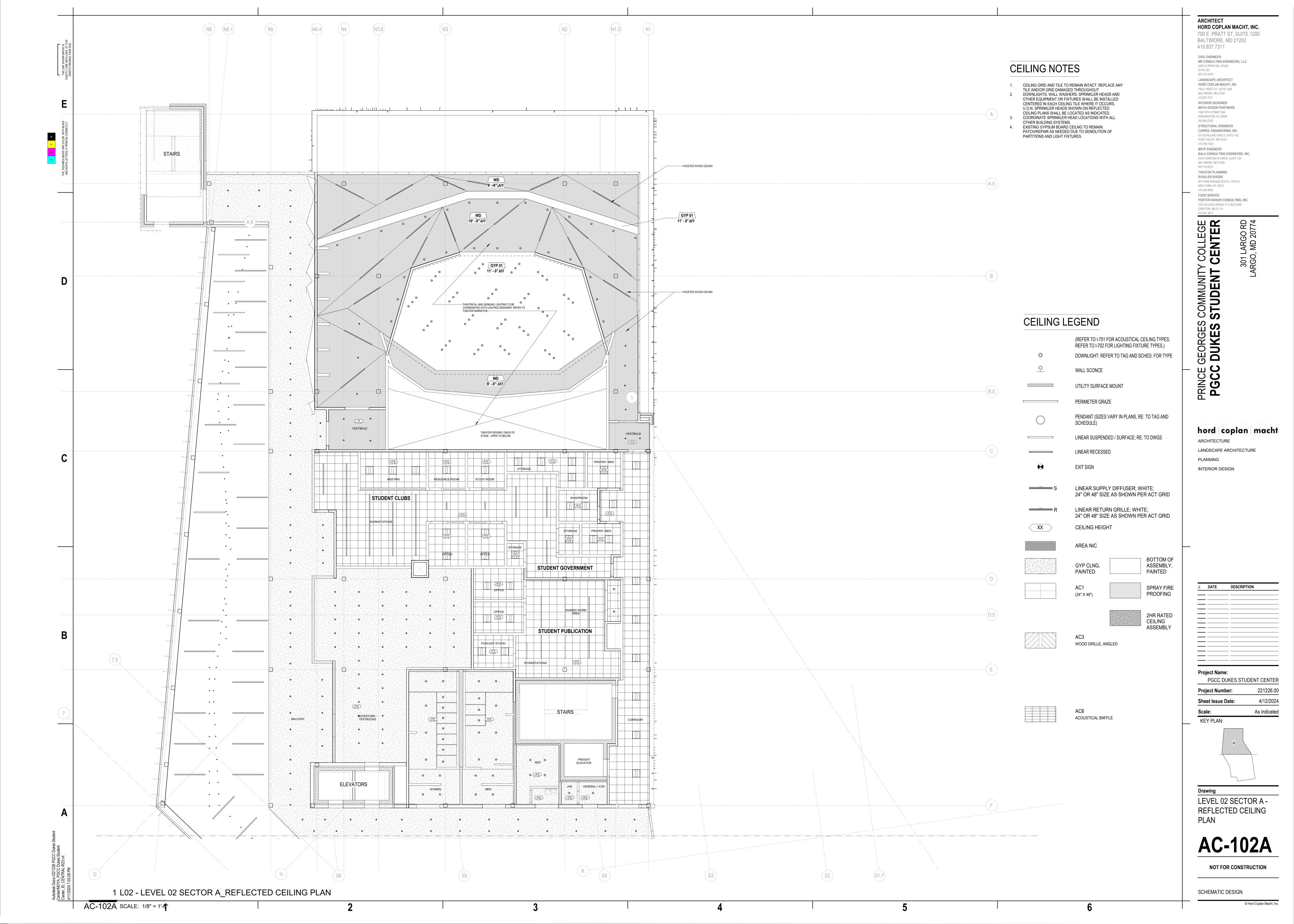






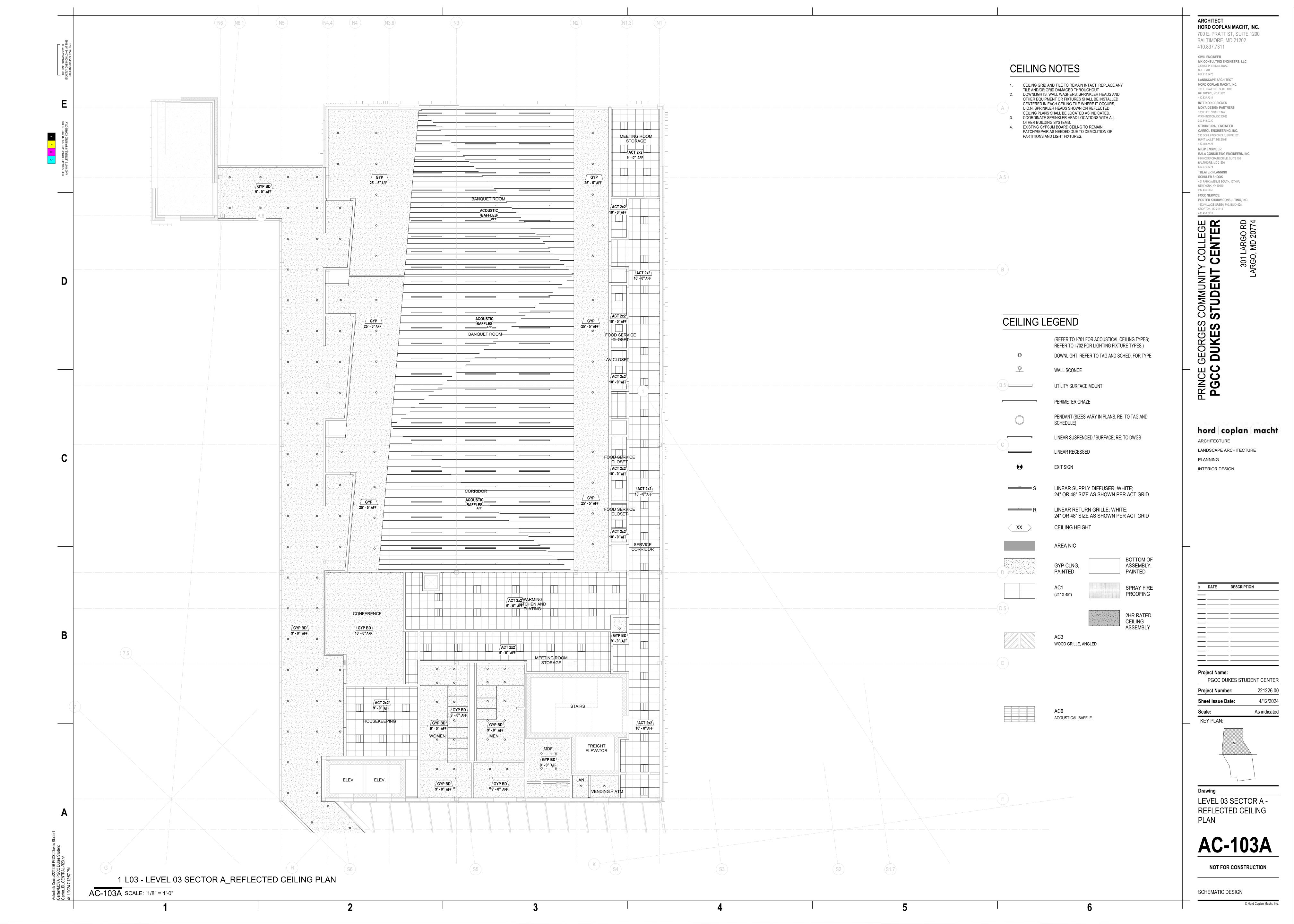
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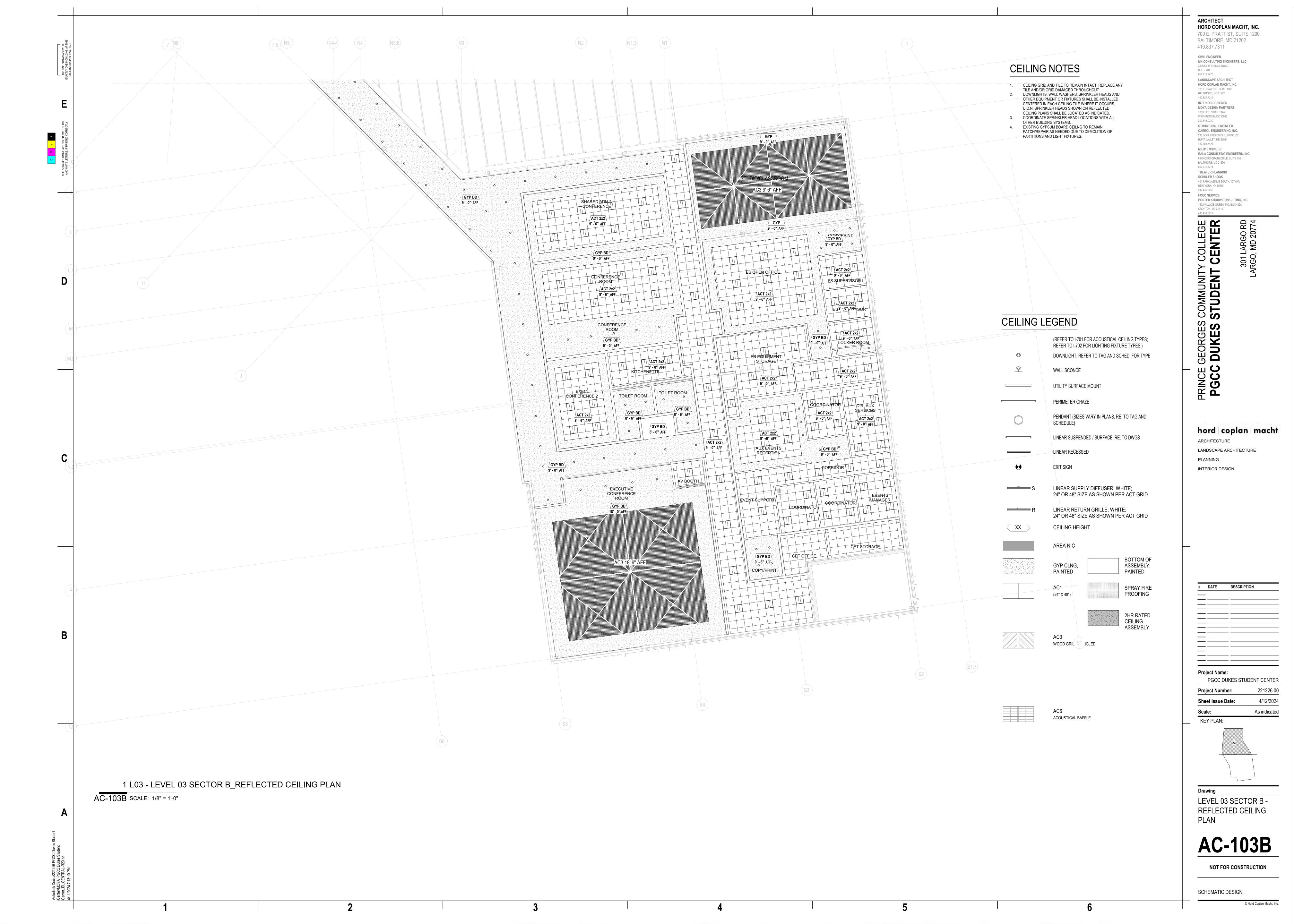
LEVEL 02 - REFLECTED

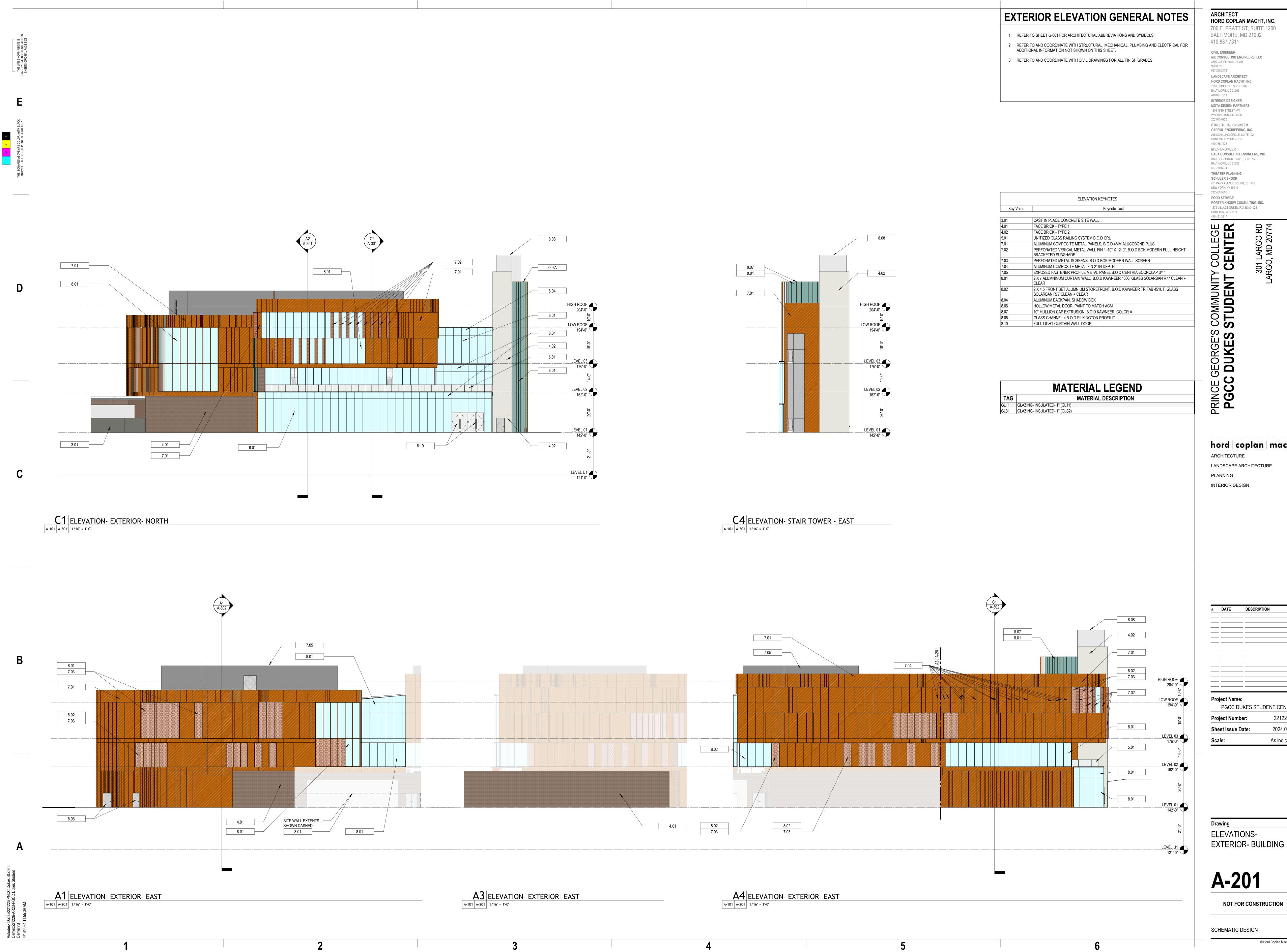












HORD COPLAN MACHT, INC. 700 E. PRATT ST, SUITE 1200

BALTIMORE, MD 21202 MK CONSULTING ENGINEERS, LLC 3300 CLIPPER MILL ROAD

LANDSCAPE ARCHITECT HORD COPLAN MACHT, INC. 700 E. PRATT ST, SUITE 1200 BALTIMORE, MD 21202 INTERIOR DESIGNER

MOYA DESIGN PARTNERS 1308 19TH STREET NW WASHINGTON, DC 20036 STRUCTURAL ENGINEER CARROL ENGINEERING, INC.

215 SCHILLING CIRCLE, SUITE 102 HUNT VALLEY, MD 21031 BALA CONSULTING ENGINEERS, INC. 8140 CORPORATE DRIVE, SUITE 150

THEATER PLANNING 401 PARK AVENUE SOUTH, 10TH FL

PORTER KHOUW CONSULTING, INC. 1672 VILLAGE GREEN, P.O. BOX 4028

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LANDSCAPE ARCHITECTURE

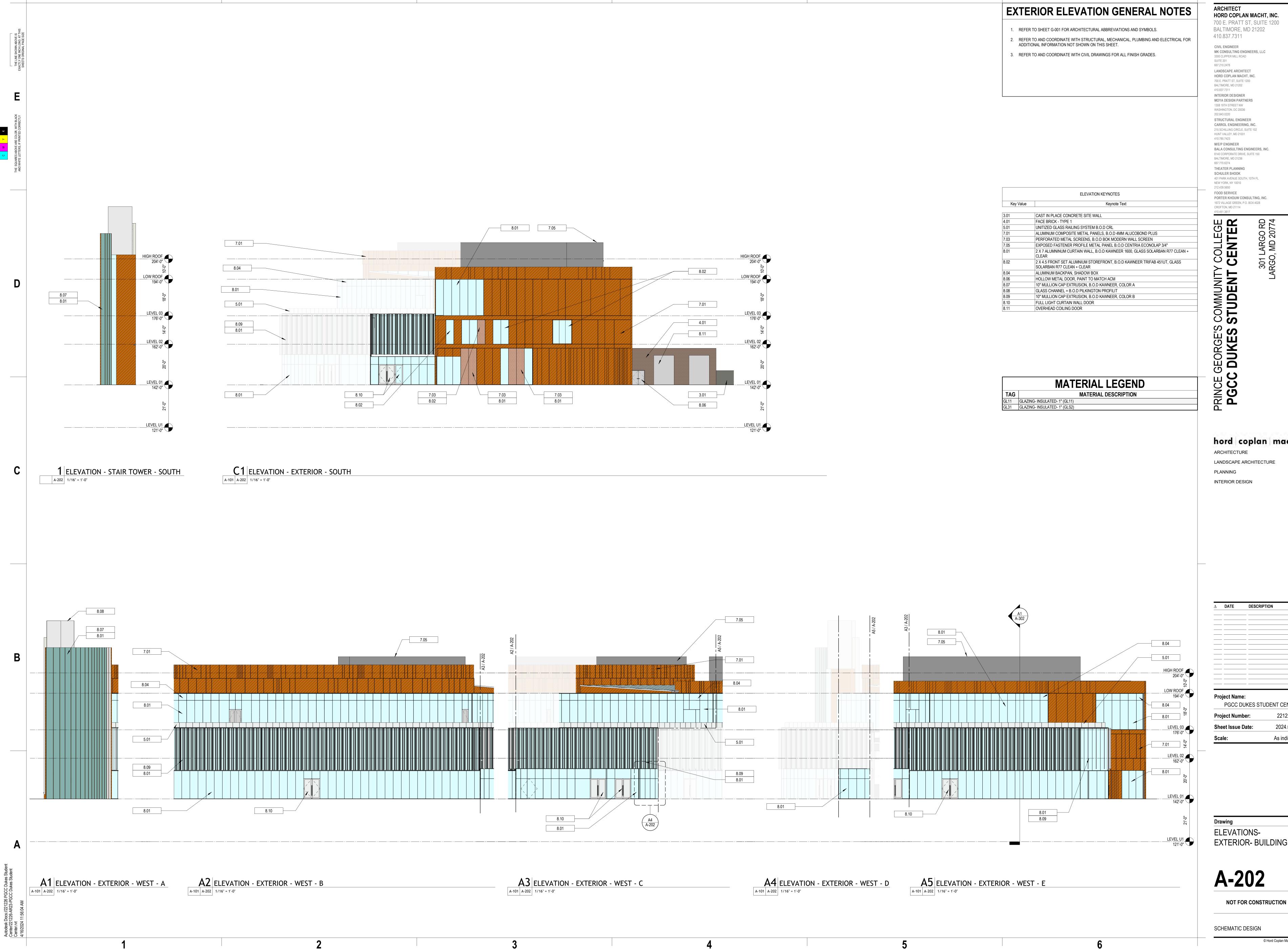
INTERIOR DESIGN

PGCC DUKES STUDENT CENTER 2024.04.12

As indicated

ELEVATIONS-

A-201



700 E. PRATT ST, SUITE 1200

BALTIMORE, MD 21202 MK CONSULTING ENGINEERS, LLC

LANDSCAPE ARCHITECT HORD COPLAN MACHT, INC. 700 E. PRATT ST, SUITE 1200 MOYA DESIGN PARTNERS

STRUCTURAL ENGINEER

BALA CONSULTING ENGINEERS, INC. 8140 CORPORATE DRIVE, SUITE 150

401 PARK AVENUE SOUTH, 10TH FL

PORTER KHOUW CONSULTING, INC. 1672 VILLAGE GREEN, P.O. BOX 4028

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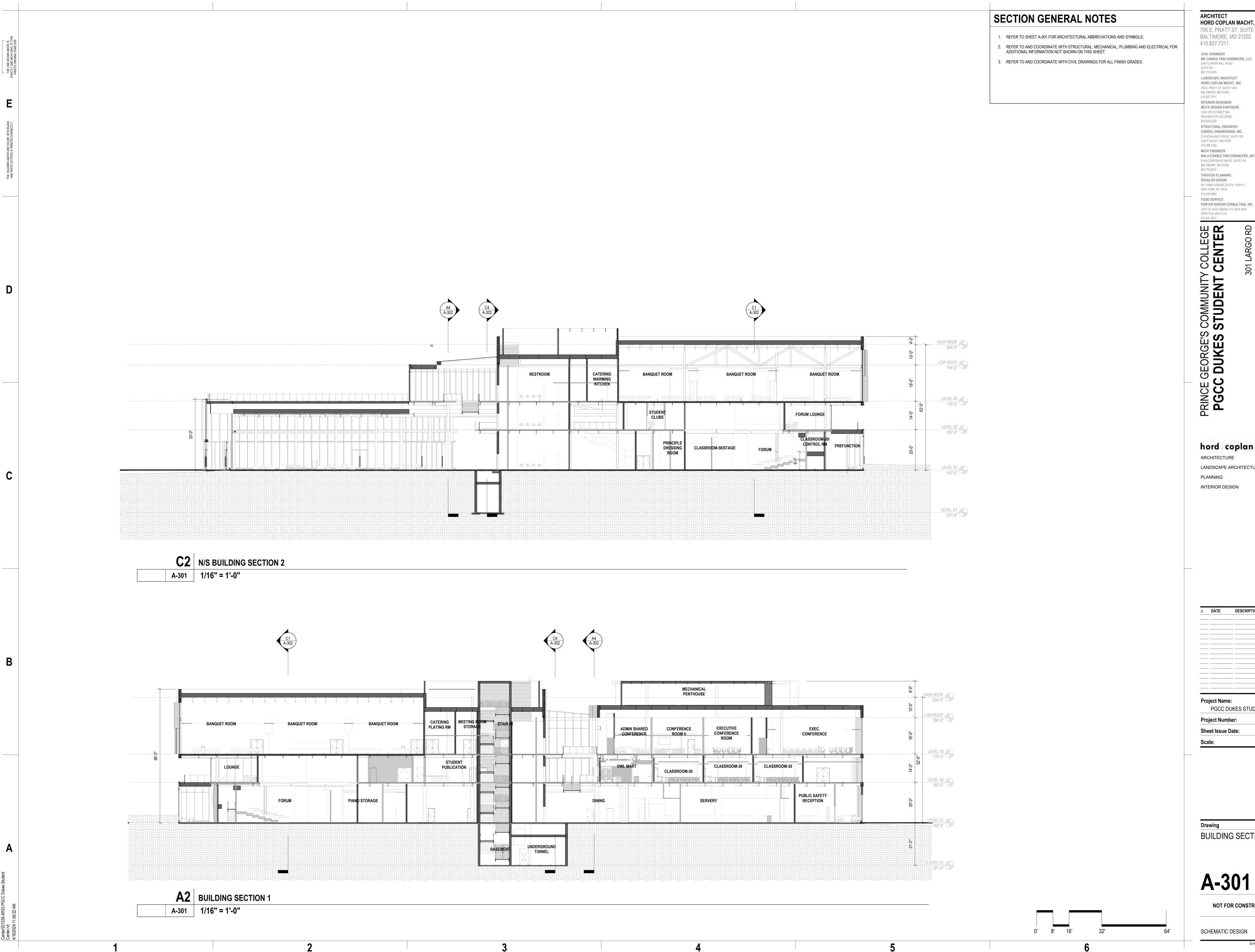
LANDSCAPE ARCHITECTURE INTERIOR DESIGN

PGCC DUKES STUDENT CENTER

2024.04.12 **Sheet Issue Date:** As indicated

ELEVATIONS-EXTERIOR-BUILDING

A-202



ARCHITECT

HORD COPLAN MACHT, INC. 700 E. PRATT ST, SUITE 1200

410.837.7311 CIVIL ENGINEER MK CONSULTING ENGINEERS, LLC 3300 CLIPPER MILL ROAD SUITE 201

HORD COPLAN MACHT, INC. 700 E. PRATT ST, SUITE 1200 BALTIMORE, MD 21202 410.837.7311 INTERIOR DESIGNER 1308 19TH STREET NW

MOYA DESIGN PARTNERS WASHINGTON, DC 20036 202.843.0220 STRUCTURAL ENGINEER CARROL ENGINEERING, INC.

215 SCHILLING CIRCLE, SUITE 102 HUNT VALLEY, MD 21031 410.785.7423 M/E/P ENGINEER BALA CONSULTING ENGINEERS, INC. 8140 CORPORATE DRIVE, SUITE 150

BALTIMORE, MD 21236 667.770.6274 THEATER PLANNING SCHULER SHOOK 401 PARK AVENUE SOUTH, 10TH FL NEW YORK, NY 10010

FOOD SERVICE PORTER KHOUW CONSULTING, INC. 1672 VILLAGE GREEN, P.O. BOX 4028

CROFTON, MD 21114

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ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING

INTERIOR DESIGN

 Δ DATE DESCRIPTION

Project Name:

PGCC DUKES STUDENT CENTER **Project Number:** 2024.04.12 Sheet Issue Date: As indicated

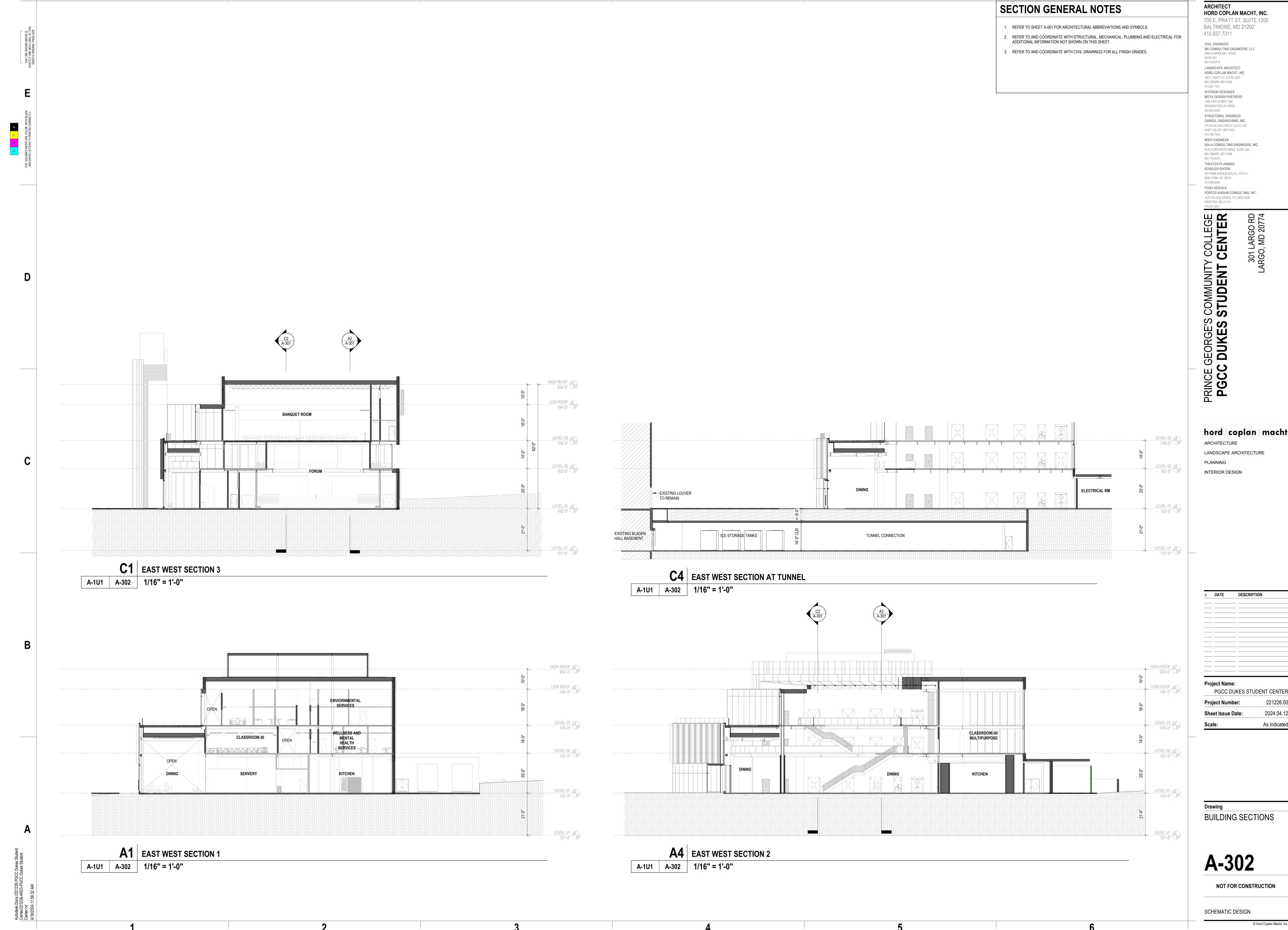
Drawing
BUILDING SECTIONS

A-301

NOT FOR CONSTRUCTION

SCHEMATIC DESIGN

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2024.04.12 As indicated











700 E. PRATT ST, SUITE 1200 BALTIMORE, MD 21202 410.837.7311

CIVIL ENGINEER MK CONSULTING ENGINEERS, LLC 3300 CLIPPER MILL ROAD SUITE 201 667.210.2478 LANDSCAPE ARCHITECT

HORD COPLAN MACHT, INC. 700 E. PRATT ST, SUITE 1200 BALTIMORE, MD 21202 410.837.7311 INTERIOR DESIGNER

MOYA DESIGN PARTNERS 1308 19TH STREET NW WASHINGTON, DC 20036 202.843.0220

STRUCTURAL ENGINEER CARROL ENGINEERING, INC. 215 SCHILLING CIRCLE, SUITE 102 HUNT VALLEY, MD 21031 410.785.7423 M/E/P ENGINEER

BALA CONSULTING ENGINEERS, INC. 8140 CORPORATE DRIVE, SUITE 150 BALTIMORE, MD 21236 667.770.6274 THEATER PLANNING SCHULER SHOOK 401 PARK AVENUE SOUTH, 10TH FL NEW YORK, NY 10010

212.439.5650 FOOD SERVICE PORTER KHOUW CONSULTING, INC.

1672 VILLAGE GREEN, P.O. BOX 4028 CROFTON, MD 21114

PRINCE GEORGE'S COMMUNITY PGCC DUKES STUDENT

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ARCHITECTURE LANDSCAPE ARCHITECTURE INTERIOR DESIGN

PGCC DUKES STUDENT CENTER **Sheet Issue Date:**

Drawing
EXTERIOR
RENDERINGS

A-901

NOT FOR CONSTRUCTION

700 E. PRATT ST, SUITE 1200 BALTIMORE, MD 21202

CIVIL ENGINEER MK CONSULTING ENGINEERS, LLC 3300 CLIPPER MILL ROAD 667.210.2478 LANDSCAPE ARCHITECT HORD COPLAN MACHT, INC

700 E. PRATT ST. SUITE 1200 BALTIMORE, MD 21202 INTERIOR DESIGNER MOYA DESIGN PARTNERS 1308 19TH STREET NW WASHINGTON, DC 20036

HUNT VALLEY, MD 21031 M/E/P ENGINEER BALA CONSULTING ENGINEERS, INC. 8140 CORPORATE DRIVE, SUITE 150 BALTIMORE, MD 21236 667.770.6274

THEATER PLANNING SCHULER SHOOK 401 PARK AVENUE SOUTH, 10TH F NEW YORK, NY 10010

PORTER KHOUW CONSULTING, INC 1672 VILLAGE GREEN, P.O. BOX 4028 CROFTON, MD 21114

hord coplan machi

LANDSCAPE ARCHITECTURE PLANNING

DESCRIPTION

PGCC DUKES STUDENT CENTER

221226.00 **Project Number: Sheet Issue Date:** 4/12/2024 12" = 1'-0"

GENERAL NOTES

ABBREVIATIONS

ASB ASBESTOS

ATTEN ATTENUATION

PANEL

BBD BULLETIN BOARD

BENCH MARK

BOTTOM OF CURB

CCTV CLOSED CIRCUIT TELEVISION

CFM CUBIC FEET PER MINUTE

CONTROL JOINT

BASE

BD BOARD

BLDG BUILDING

BLK BLOCK

BRK BRICK

BTWN BETWEEN

CAB CABINET

CLG CEILING

CLOS CLOSET

CNTR COUNTER

COL COLUMN

CPT CARPET

DBL DOUBLE

DIAMETER

DEMOUNTABLE

DIMENSION

DIVISION

CLR CLEAR

CBD CHALKBOARD

CG CORNER GUARD

CAST IRON

CENTERLINE

BLKG BLOCKING

ACOUSTICAL WALL

AUTO AUTOMATIC

AVG AVERAGE

ANCHOR BOLT DR DOOR GWT GLAZED WALL TILE ABOVE DT DRAIN TILE GYP GYPSUM AIR CONDITIONING DTL DETAIL HBD HARDBOARD ACT ACOUSTICAL CEILING TILE DW DRYWALL HDR HEADER ADJ ADJUSTABLE DWG DRAWING HDWD HARDWOOD AFF ABOVE FINISHED FLOOR DWR DRAWER HDWR HARDWARE AHU AIR HANDLING UNIT HM HOLLOW METAL EAST ALT ALTERNATE HORIZ HORIZONTAL EA EACH ALUM ALUMINUM HR HOUR EXHAUST FAN AP ACCESS PANEL HT HEIGHT EJ EXPANSION JOINT APPR APPROXIMATE HTR HEATER ELEVATION ARCH ARCHITECT(URAL)

DP DAMPPROOFING

HVAC HEATING, VENTILATING ELEC ELECTRICAL AIR CONDITIONING ELEV ELEVATOR HW HOT WATER EMER EMERGENCY EPBD ELECTRICAL PANELBOARD ID INSIDE DIAMETER EPX EPOXY IN INCH EQ EQUAL INCL INCLUDE EQUIP EQUIPMENT INFO INFORMATION EST ESTIMATE INST INSTALL(ATION) EWC ELECTRIC WATER COOLER INSUL INSULATE(ION) EXH EXHAUST INT INTERIOR EXIST EXISTING EXP EXPANSION JAN JANITOR

GR GRADE

GS GALVANIZED STEEL

EXP C EXPOSED CONSTRUCTION JB JUNCTION BOX JT JOINT FD FLOOR DRAIN FIRE EXTINGUISHER KIT KITCHEN FEC FIRE EXTINGUISHER CABINET FINISHED FLOOR LAB LABORATORY FGL FIBERGLASS LAM LAMINATE FH FIRE HYDRANT LAV LAVATORY FHC FIRE HOSE CABINET LBS POUNDS FHVC FIRE HOSE VALVE CABINET LF LINEAR FEET (FOOT) FIN FINISH(ED) LH LEFT HAND FIX FIXTURE LKR LOCKER FLSHG FLASHING LT LIGHT LVR LOUVER

LW LIGHTWEIGHT

M METER(S)

MACH MACHINE

MATL MATERIAL

MAX MAXIUM

MED MEDIUM

MIN MINIMUM

MIR MIRROR

MLDG MOLDING

MT MOUNT

MTL METAL

MUL MULLION

MTD MOUNTED

MTG MOUNTING

MB MARKERBOARD

MECH MECHANICAL

MEMB MEMBRANE

MFR MANUFACTURER

MISC MISCELLANEOUS

MO MASONRY OPENING

FLR FLOOR FLUR FLUORESCENT CMU CONCRETE MASONRY UNIT FND FOUNDATION FR FIRE RATED FRMG FRAMING CONC CONCRETE FRT FIBER RETARDANT TREATED CONST CONSTRUCT(ION) FT FOOT, FEET CONT CONTINUOUS FTG FOOTING CONTR CONTRACT(OR) FURN FURNITURE CORR CORRIDOR FURR FURRING FVC FIRE VALVE CABINET CW COLD WATER

G GAS GA GAUGE DEMO DEMOLISH, DEMOLITION GAL GALLON DEPT DEPARTMENT GALV GALVANIZED DF DRINKING FOUNTAIN GB GRAB BAR DG DOOR GRILLE GC GENERAL CONTRACTOR DIAG DIAGONAL GEN GENERAL GFI GROUND FAULT CIRC INTERUP. GL GLASS

NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NOISE REDUCTION COEFFICIENT

N NORTH

PL PLATE

PLAS PLASTER

PLUMB PLUMBING

PLYWD PLYWOOD

PNL PANEL

PT PAINT

PR PAIR

PLAM PLASTIC LAMINATE

PREFAB PREFABRICATE(D)

PSF POUNDS PER SQUARE FOOT

PVC POLYVINYL CHLORIDE

PREFIN PREFINISHED

PREP PREPARE

PROJ PROJECT

PTN PARTITION

QT QUARRY TILE

RISER

RA RETURN AIR

RB RUBBER BASE

RECP RECEPTACLE

REF REFERENCE

REQD REQUIRED

RET RETURN

RM ROOM

REFG REFRIGERATOR

REQMT REQUIREMENT

RF RESILIENT FLOORING

RIGHT HAND

RAIN LEADER

RO ROUGH OPENING

RTU ROOFTOP UNIT

R/W RIGHT OF WAY

SOUTH

BLANKET

SC SOLID CORE

SCH SCHEDULE

SD STORM DRAIN

SAB SOUND ATTENUATION

SCWD SOLID CORE WOOD DOOR

SAN SANITARY

RUBBER TILE

REINF REINFORCE(D)(ING)

RAD RADIUS

QTY QUANTITY

SOF SPRAY FIREPROOFING SPEC SPECIFICATION SPR SPRINKLER NTS NOT TO SCALE SQ SQUARE OC ON CENTER SS STAINLESS STEEL OD OUTSIDE DIAMETER ST STREET OH OVERHEAD STA STATION OPNG OPENING STC SOUND TRANSMISSION COEF. OPP OPPOSITE STD STANDARD STL STEEL PC PRECAST STOR STORAGE PERF PERFORATE(D) PERM PERIMETER

STRUCT STRUCTURAL SUBFLR SUBFLOOR SUSP SUSPENSION SYM SYMMETRY(RICAL) T TREAD TB TACKBOARD TBD TO BE DETERMINE T&B TOP & BOTTOM TOC TOP OF CURB TEL TELEPHONE T&G TONGUE & GROOVE THHD THRESHOLD THK THICK(NESS) THRU THROUGH TL TILE TOS TOP OF STEEL TOW TOP OF WALL

SHLVG SHELVING

SHTH SHEATHING

SHT SHEET

POUNDS PER SQUARE INCH TPT TEXTURES PAINT TRT TREAT(ED) TOS TOP OF SLAB TV TELEVISION TYP TYPICAL UC UNDERCUT UG UNDERGROUND UH UNIT HEATER UNFIN UNFINISHED UNO UNLESS NOTED OTHERWISE V VINYL

VAC VACUUM VB VINYL BASE VERT VERTICAL VEST VESTIBULE VIF VERIFY IN FIELD VR VAPOR RETARDER VWC VINYL WALL COVERING WEST

W/ WITH WB WOOD BASE WC WATER CLOSET WD WOOD BASE WDW WINDOW WGL WIRE GLASS WH WATER HEATER W/O WITHOUT WP WATERPROOFING WPT WORKING POINT

WR WATER RESISTAN WT WEIGHT

GENERAL NOTES

ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "HOLD" OR "CLEAR" SHALL BE GIVEN PRIORITY. DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE OR DIMENSIONED. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER ALL DRAWINGS. CONTRACTOR SHALL NOTIFY ARCHITECT IN

CONTRACTOR SHALL COORDINATE AND PROVIDE BLOCKING IN PARTITIONS FOR ALL MILLWORK AND WALL ATTACHED LIGHT FIXTURES, RAILINGS, SIGNAGE, ETC. "TYPICAL" OR "TYP.," SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYED AND NOTED "TYP." ONLY ONCE, WHERE THEY FIRST OCCUR. CONTRACTOR SHALL NOT MEASURE THESE DRAWINGS FOR THE PURPOSE OF CONSTRUCTION.

THE CONTRACTOR SHALL VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING BIDDING OR CONSTRUCTION. THE CONTRACTOR SHALL APPLY, INSTALL, CONNECT, ERECT, CLEAN AND /OR CONDITION MANUFACTURED ARTICLES, MATERIALS, AND /OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN A CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCING THE WORK TO THE EXTENT PRACTICAL. ANY CONFLICTS, AND DISCREPANCIES SHALL BE REPORTED IN WRITING TO THE ARCHITECT.

IMMEDIATELY PRIOR TO THE OWNER'S OCCUPANCY, THE CONTRACTOR SHALL CLEAN ALL SURFACES OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIAL AND EQUIPMENT, AND LEAVE ALL FLOORS VACUUMED CLEAN. REMAINING CONSTRUCTION MATERIAL AND EQUIPMENT, IF ANY, SHALL BE MOVED AND TEMPORARILY SECURED IN AN AREA DIRECTED BY THE 11. THE CONTRACTOR SHALL FILE, OBTAIN, AND PAY FOR ALL FEES FOR BUILDING DEPARTMENT APPROVALS AND PERMITS, WHERE REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF ALL TRANSACTIONS ARE TO BE FORWARDED TO THE OWNER. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTIONS, OR DETAILS SHALL APPLY TO ALL SIMILAR OR OPPOSITE HAND PLANS, SECTIONS OR PROVIDE FIRE SAFING INSULATION OR FIRE SEALANT AROUND PIPES PENETRATING RATED WALLS OR FLOORS TO MAINTAIN AN APPLICABLE FIRE RATING AND OR SMOKE BARRIER.

DRAWINGS AND SPECIFICATIONS ARE AND SHALL REMAIN THE PROPERTY OF MOYA DESIGN PARTNERS AND ARE NOT TO BE USED BY CLIENT OR CONTRACTOR ON OTHER PROJECTS

ALL WORK SHALL COMPLY WITH ALL APPLICABLE LAWS, CODES, ORDINANCES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY NOT TO PROCEED WITH WORK UNTIL ALL REQUIRED PERMITS, PERMISSIONS, AGREEMENTS AND AUTHORIZATIONS ARE OBTAINED FOR PERFORMANCE OF WORK IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, ORDINANCES, AND REGULATIONS. VERIFY DETAILED REQUIREMENTS TO ENSURE THAT MATERIALS, PRODUCTS, ASSEMBLIES AND THEIR INSTALLATION MEET OR EXCEED LEGAL REQUIREMENTS. IF DISCREPANCIES OCCUR AMONG CONSTRUCTION DOCUMENTS, CODES, UTILITY COMPANY REQUIREMENTS, ETC.; MOST STRINGENT REQUIREMENTS SHALL APPLY. NOTIFY ARCHITECT OF ANY CONFLICT, DISCREPANCY OR AMBIGUITY BEFORE BIDDING, FOR CLARIFICATION. IF DISCOVERED AFTER THE BID PERIOD, NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY FOR CLARIFICATION AND WAIT FOR CLARIFICATION AND/OR INSTRUCTIONS FROM THE ARCHITECT, PRIOR TO PROCEEDING WITH ANY RELATED WORK. 19. IN CASES OF CONFLICT, DISCREPANCY OR AMBIGUITY ABOUT WHICH THE ARCHITECT IS NOTIFIED AFTER THE BID, THE ARCHITECT SHALL HAVE THE RIGHT TO SELECT THE STRICTER AND MORE EXPENSIVE SOLUTION AT NO EXTRA COST.

OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING FROM MOYA DESIGN PARTNERS.

THE GENERAL CONTRACTOR SHALL VISIT THE SITE BY ARRANGING AN APPOINTMENT WITH OWNER AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS. FAILURE TO VISIT SITE SHALL NOT RELIEVE GENERAL CONTRACTOR FROM NECESSITY OF FURNISHING MATERIALS OR PERFORMING WORK THAT MAY BE REQUIRED TO COMPLETE WORK IN ACCORDANCE WITH DRAWINGS. ON CONSTRUCTION DOCUMENTS, "EXISTING" DOES NOT DENOTE "AS-BUILT". ANY DIMENSIONS DIRECTLY OR INDIRECTLY RELATED TO EXISTING CONDITIONS ARE APPROXIMATE. THE ACTUAL AS-BUILT DIMENSIONS AND THE FULL EXTENT OF ANY EXISTING CONCEALED CONSTRUCTION SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO

NOTED DIMENSIONS GOVERN OVER SCALE. DRAWINGS SHALL NOT BE SCALED. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY MISSING DIMENSIONS OR DISCREPANCIES AND SHALL NOT PROCEED WITH THE WORK THAT MAY BE DIRECTLY OR INDIRECTLY AFFECTED UNTIL THE DIMENSIONS IN QUESTION ARE SUPPLIED OR CLARIFIED BY THE ARCHITECT. ALL CONSTRUCTION AND WORK SHOWN ON THE COMPLETE SET OF DRAWINGS IS ASSUMED TO BE NEW AND FURNISHED AND INSTALLED BY THE CONTRACTOR. CONSTRUCTION DOCUMENTS ARE NOT INTENDED TO DEPICT EACH AND EVERY DETAIL AND ASPECT OF CONSTRUCTION. AS THE PARTY IN THE FIELD, THE GENERAL CONTRACTOR IS IN THE BEST POSITION TO VERIFY THAT THE COMPLETED WORK WILL FUNCTION AS INTENDED AND TO PROVIDE A WATERTIGHT STRUCTURE, AND SHALL DO SO. THE GENERAL CONTRACTOR SHALL DEMOLISH THE EXISTING CONSTRUCTION TO THE EXTENT REQUIRED FOR PERFORMING THE WORK SHOWN.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FULLY CO-OPERATE WITH THE OWNER AND ABIDE BY ANY AND ALL RESTRICTIONS REGARDING HOURS OF OPERATION, NOISE, PARKING, LOADING ETC. 29. THE GENERAL CONTRACTOR SHALL LOCATE, IDENTIFY AND VERIFY THE PRESENCE OF EXISTING STRUCTURAL, ELECTRICAL, PLUMBING AND MECHANICAL ELEMENTS, LINES AND SYSTEMS INCLUDING THOSE THAT MAY BE CURRENTLY NOT IN USE AND/OR CONCEALED IN THE EXISTING CONSTRUCTION PRIOR TO DISTURBING THE EXISTING CONSTRUCTION AND DEMOLITION. ANY DAMAGE, INJURY OR INTERRUPTION OF EXISTING BUILDING SERVICES RESULTING FROM ACCIDENTAL DAMAGE TO EXISTING SYSTEMS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCOVERED CONCEALED BUILDING SYSTEM THAT MAY AFFECT THE INDICATED WORK OR WHOSE PRESENCE OR DISTURBANCE MAY BE HAZARDOUS TO THE OCCUPANTS OR MAY CAUSE A CODE VIOLATION, AND WAIT FOR CLARIFICATION OR INSTRUCTIONS, PRIOR TO PROCEEDING WITH THE WORK. THE GENERAL CONTRACTOR SHALL DEMOLISH THE EXISTING CONSTRUCTION TO THE EXTENT REQUIRED

FOR PERFORMING THE WORK SHOWN, WHETHER OR NOT SPECIFIC DEMOLITION ITEMS ARE INDICATED ON DRAWINGS. WHERE PIPING, CONDUITS ETC., OR MECH ELEC ITEMS THAT ARE REMOVED FROM EXISTING CONSTRUCTION, PATCH THE EXISTING CONSTRUCTION TO MATCH THE SURROUNDING. THE GENERAL CONTRACTOR SHALL PROMPTLY REMOVE ALL DEBRIS, REFUSE AND BY-PRODUCTS PROMPTLY IN COMPLIANCE WITH ALL APPLICABLE RULES, REGULATIONS, COVENANTS, CODES AND LAWS; AND MAINTAIN THE CONSTRUCTION SITE IN A SAFE, CLEAN AND ORDERLY MANNER.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO ALL EXISTING OR NEW CONSTRUCTION DURING THE CONSTRUCTION PERIOD. THE GENERAL CONTRACTOR SHALL EMPLOY A COMPETENT PERSON TO ESTABLISH A PERMANENT BENCHMARK AND GENERAL REFERENCE POINTS TO WHICH EASY ACCESS IS AVAILABLE BY SUBCONTRACTORS FOR LAYING OUT THEIR WORK AND VERIFICATION OF LINES, GRADES, BOUNDARIES ETC. THROUGHOUT THE PROGRESS OF THE WORK. THE GENERAL CONTRACTOR SHALL LAY OUT THE PARTITIONS ON THE FORMS OR ROUGH FLOORS AS A GUIDE TO THE TRADES.

34. IT IS THE DUTY OF EACH SUB-CONTRACTOR TO LAY OUT THEIR OWN WORK, TAKE THEIR OWN FIELD MEASUREMENTS OF DIMENSIONS, GRADES, AND LEVELS PRIOR TO FABRICATION AND TO COORDINATE WITH OTHER TRADES THROUGHOUT THE PROJECT TOGETHER WITH THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR IS

RESPONSIBLE FOR VERIFYING THAT THE SUB-CONTRACTORS HAVE PERFORMED THEIR DUTIES IN A TIMELY, CORRECT AND COMPREHENSIVE MANNER. THE GENERAL CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE PERFORMANCE OF ALL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EACH INSTALLER SHALL INSPECT THE SUBSTRATE TO RECEIVE WORK AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND VERIFY LAYOUT OF WORK BEFORE BEGINNING INSTALLATION; SHALL NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED TO SATISFACTION OF INSTALLER. BEGINNING OF

WORK MEANS ACCEPTANCE OF EXISTING CONDITIONS BY INSTALLER. ON DRAWINGS THE TERM "PROVIDE" SHALL BE INTERPRETED TO MEAN "FURNISH AND INSTALL". ALL ITEMS SHOWN ARE TO BE FURNISHED AND INSTALLED UNLESS NOTED OTHERWISE.

WHERE ITEMS ARE INDICATED ON THE CONTRACT DRAWINGS TO BE "BY OTHERS", THE GENERAL CONTRACTOR SHALL REFER TO THE PROJECT SPECIFICATIONS OR NOTES ON THE DRAWINGS FOR REQUIREMENTS AND RESPONSIBILITIES. ALL WORK CALLED FOR ON CONSTRUCTION DOCUMENTS, THAT IS NOT PART OF THE STANDARD CONNECTION SERVICES PROVIDED BY UTILITY COMPANIES, OR IS NOT

INDICATED SPECIFICALLY AS "BY OTHERS" OR "NIC" SHALL BE BY GENERAL CONTRACTOR. FOR MATERIALS, PRODUCTS, ASSEMBLIES OR WORKMANSHIP SPECIFIED OR INDICATED BY ASSOCIATION, TRADE OR FEDERAL STANDARDS, COMPLY WITH REQUIREMENTS OF STANDARD, UNLESS NOTED OTHERWISE ON CONTRACT DOCUMENTS OR WHEN MORE RIGID REQUIREMENTS ARE REQUIRED BY APPLICABLE REGULATIONS. EFFECTIVE DATE OF STANDARD IS THAT IN EFFECT AS OF BID DATE EXCEPT WHEN SPECIFIC DATE IS SPECIFIED OR WHEN STANDARD IS PART OF APPLICABLE CODE WHICH INCLUDES AN EDITION DATE. SEE "UL" PUBLICATIONS FOR FULL DESCRIPTION AND DETAILS OF THE "UL" RATED ASSEMBLIES.

41. ALL CUTTING, PATCHING AND RESHAPING REQUIRED FOR THE EXECUTION OF WORK SHALL BE DONE WHETHER OR NOT SPECIFICALLY INDICATED ON THE CONSTRUCTION PROVIDE CONSTRUCTION, CONTROL AND EXPANSION JOINTS, IF NOT INDICATED ON DRAWINGS, IN ACCORDANCE WITH CODES, INDUSTRY STANDARDS AND

MANUFACTURER'S RECOMMENDATIONS. SUBMIT LOCATIONS OF SUCH PROPOSED EXPOSED CONTROL AND EXPANSION JOINTS FOR APPROVAL BY THE ARCHITECT. 43. PROVIDE UNIFORM JOINT WIDTH AND ARRANGE JOINTS TO OBTAIN BEST VISUAL EFFECT. WHERE A JOINT PATTERN IS NOT SPECIFIED OR CANNOT BE READILY INFERRED FROM THE CONSTRUCTION DOCUMENTS REQUEST CLARIFICATION FROM THE ARCHITECT MIN 5 DAYS FROM THE BID DATE.

44. ALL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED AS TYPICAL SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR OPPOSITE CONDITIONS UNLESS OTHERWISE NOTED. ANY AREAS WHERE THE DESIGN INTENT IS NOT CLEAR ON CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT MIN 5 DAYS FROM THE BID DATE. 45. ANY DISCREPANCIES BETWEEN DIFFERENT PORTIONS OF THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT MIN 5 DAYS PRIOR THE

BID DATE. THE MORE COSTLY INTERPRETATION OF ANY DISCREPANCIES THAT ARE BROUGHT TO THE ATTENTION OF THE ARCHITECT AFTER THE ABOVE STATED DEADLINE SHALL BE ASSUMED TO HAVE BEEN INCLUDED THE BID. NO WORK SHALL BE PERFORMED WITHOUT A CLEAR UNDERSTANDING OF THE DESIGN INTENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REQUEST FOR CLARIFICATION 46. ALL DIMENSIONS CONCERNING MANUFACTURED ITEMS ARE NOMINAL, THE GENERAL CONTRACTOR SHALL COORDINATE ALL DIMENSIONS CONCERNING ALL ITEMS FABRICATED OFF-SITE, BUILT-IN EQUIPMENT, DOORS AND DOOR OPENINGS AND WINDOWS AND WINDOW OPENINGS PRIOR TO FABRICATION AND INSTALLATION.

THE GENERAL CONTRACTOR SHALL PLAN IN ADVANCE AND COORDINATE ALL ACTIVITIES RELATED TO THE WORK INCLUDING BUT NOT LIMITED TO THE FOLLOWING: MATERIALS, SERVICES, AND EQUIPMENT PURCHASING (INCLUDING THE TIMELY FIELD VERIFICATION OF DIMENSIONS AND SUBMISSION OF SHOP DRAWINGS FOR

TIMELY ORDERING SHIPPING, RECEIPT, AND STORAGE AT SITE, INSTALLATION, INCLUDING INTERFACE WITH RELATED ITEMS, INSPECTION AND TESTING, TO THE EXTENT REQUIRED BY APPLICABLE CODES AND REGULATIONS.

INITIAL START-UP OF EQUIPMENT AND OPERATIONAL TESTS. ALL APPLICATIONS FOR MATERIAL SUBSTITUTIONS SHALL BE MADE BY SUBMITTING A COMPLETED "SUBSTITUTION REQUEST FORM" REVIEWED AND APPROVED BY THE

GENERAL CONTRACTOR. INCOMPLETE FORMS WILL NOT BE REVIEWED. 49. NO PART OF THE CONSTRUCTION DOCUMENTS SHALL BE COPIED OR REPRODUCED FOR USE AS SHOP DRAWINGS. SHOP DRAWINGS PRODUCED AS SUCH SHALL BE

50. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING, OF ANY CIRCUMSTANCES THAT MAY DEVELOP DURING THE PROGRESS OF WORK THAT MAY AFFECT THE GENERAL CONTRACTOR'S ABILITY TO COMPLETE THE PROJECT ON SCHEDULE. THE OBLIGATION TO MEET THE PROJECT SCHEDULE DOES NOT RELIEVE THE GENERAL CONTRACTOR OF THE RESPONSIBILITY TO FULLY COMPLY WITH ALL REQUIREMENTS ON THE CONTRACT DOCUMENTS. SUBSTITUTION REQUESTS SHALL NOT BE ACCEPTED AFTER THE SIGNING OF THE CONTRACT UNLESS CIRCUMSTANCES THAT HAVE CHANGED SINCE THE SIGNING OF THE CONTRACT HAS NECESSITATED THE SUBSTITUTION. 51. NO MATERIAL OR PRODUCT THAT MAY HAVE AN ADVERSE EFFECT ON THE INDOOR AIR QUALITY BEYOND APPROVED LEVELS AFTER THE BUILDING IS OCCUPIED, SHALL BE

52. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY WARNINGS BY THE MANUFACTURER REGARDING ANY ADVERSE EFFECT ON THE INDOOR AIR QUALITY AND ANY POTENTIAL HEALTH HAZARD TO OCCUPANTS PRIOR TO PLACING THE ORDER FOR SPECIFIED MATERIALS OR PRODUCTS.

NO MATERIAL OR PRODUCT THAT MAY POSE ANY POTENTIAL HEALTH HAZARD TO OCCUPANTS THAT DOES NOT COMPLY WITH THE SPECIFICATIONS AND/OR APPLICABLE REGULATIONS SHALL BE SUBSTITUTED IN LIEU OF ANY SPECIFIED MATERIAL OR PRODUCT. 54. HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH APPLICABLE REGULATIONS AND MANUFACTURER'S RECOMMENDATIONS, EXCESS MATERIALS.

LEFTOVERS AND /OR BI-PRODUCTS SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS AND SHALL NOT BE BURIED OR LEFT ON SITE.

ISOLATE DISSIMILAR MATERIALS TO PREVENT GALVANIC ACTION WHETHER SPECIFICALLY INDICATED ON THE CONSTRUCTION DOCUMENTS OR NOT. MANUFACTURER'S STANDARD WARRANTIES APPLY TO ALL SPECIFIED PRODUCTS UNLESS NOTED OTHERWISE.

PROVIDE FINAL CLEANING OF THE WORK, EXCEPT FOR CLEANING TO BE PERFORMED BY THE OWNER, CONSISTING OF CLEANING EACH SURFACE OR UNIT OF WORK TO NORMAL "CLEAN" CONDITION EXPECTED FOR A FIRST CLASS BUILDING CLEANING AND MAINTENANCE PROGRAM. COMPLY WITH MANUFACTURER'S INSTRUCTIONS FOR CLEANING OPERATIONS. EXCEPT AS OTHERWISE INDICATED OR REQUESTED BY ARCHITECT REMOVE TEMPORARY PROTECTION DEVICES AND FACILITIES WHICH WERE INSTALLED DURING COURSE OF THE WORK TO PROTECT PREVIOUSLY COMPLETED WORK DURING REMAINDER OF CONSTRUCTION PERIOD. COMPLY WITH SAFETY STANDARDS AND GOVERNING REGULATIONS FOR CLEANING OPERATIONS.DO NOT BUM WASTE MATERIALS AT SITE, OR BURY DEBRIS OR EXCESS MATERIALS ON OWNER'S PROPERTY, OR DISCHARGE VOLATILE OR OTHER HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS; REMOVE WASTE MATERIALS FROM SITE AND DISPOSE OF IN A LAWFUL MANNER. WHERE EXTRA MATERIALS OF VALUE REMAINING AFTER COMPLETION OF ASSOCIATED WORK HAVE BECOME OWNER'S PROPERTY.

BALTIMORE, MD 21236 667.770.6274 THEATER PLANNING SCHULER SHOOK 401 PARK AVENUE SOUTH, 10TH F NEW YORK, NY 10010 212.439.5650 FOOD SERVICE

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ARCHITECT

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INTERIOR DESIGNER MOYA DESIGN PARTNERS 1308 19TH STREET NW WASHINGTON, DC 20036 202.843.0220

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BALTIMORE, MD 21202

MK CONSULTING ENGINEERS, LLC

CROFTON, MD 21114 Щ**М**

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ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING

INTERIOR DESIGN

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 Δ DATE DESCRIPTION

Project Name: PGCC DUKES STUDENT CENTER

221226.00 **Project Number: Sheet Issue Date:** 4/12/2024 As indicated

GENERAL NOTES AND **ABBREVIATIONS**

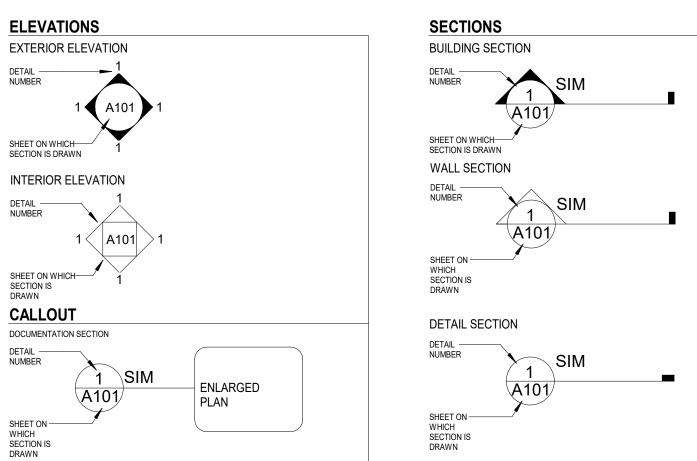
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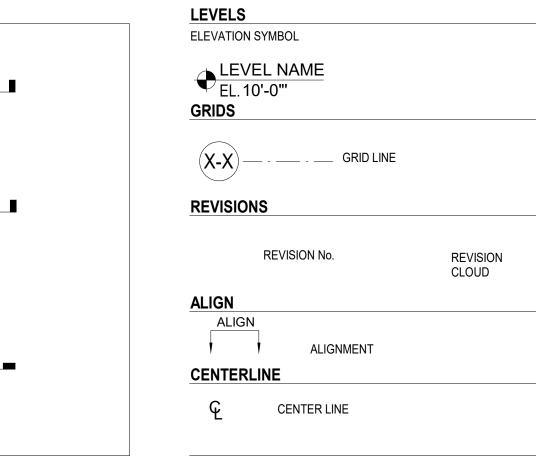
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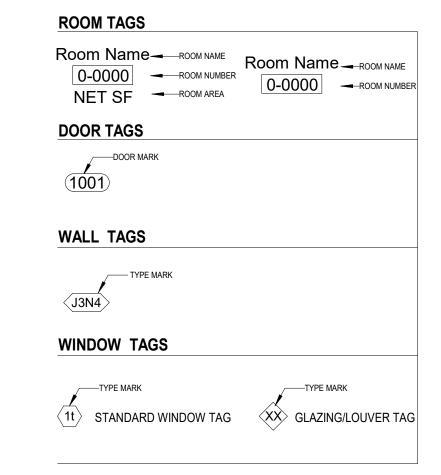
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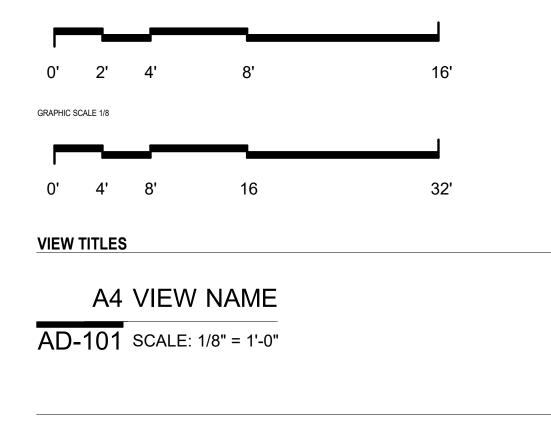
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COMMON SYMBOLS



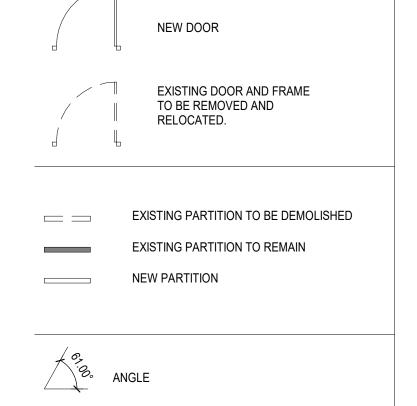






GRAPHIC SCALE

GRAPHIC SCALE 1/4



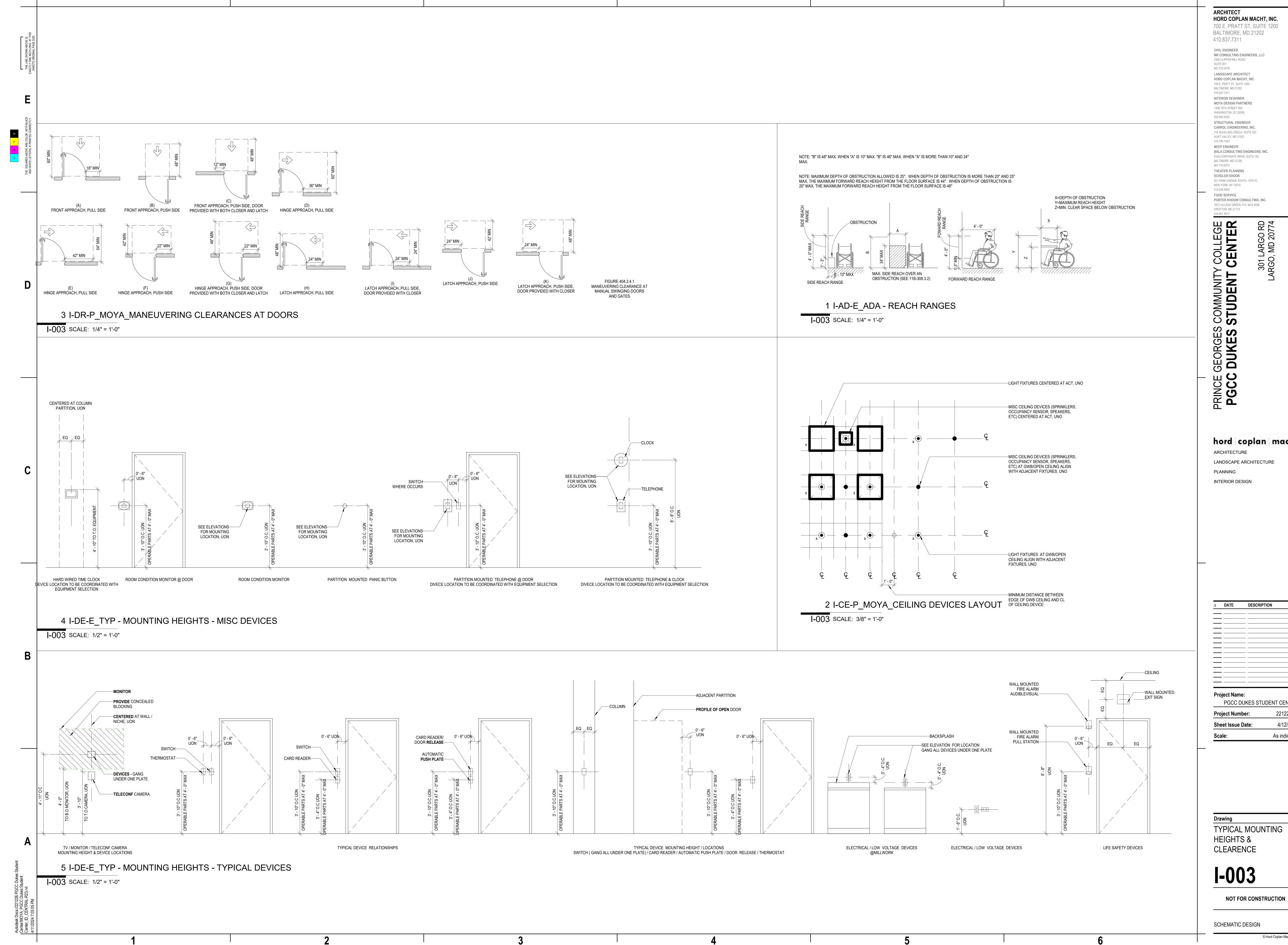
COMMON REPRESENTATIONS

SHEET No. Sheet No. Sequence Sheet Type

SHEET NUMBER AND NAME

SYMBOLS

SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC



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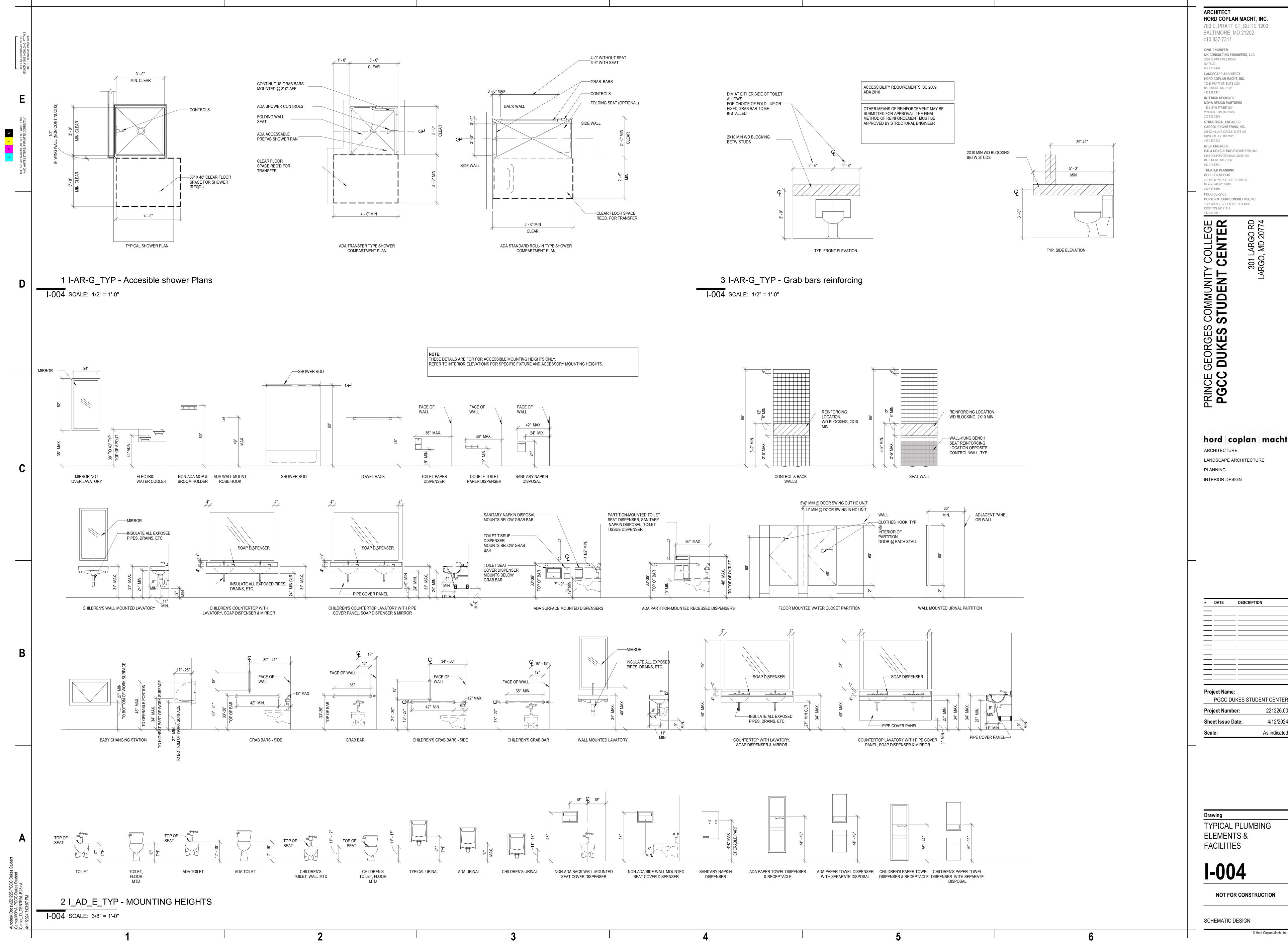
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TYPICAL MOUNTING



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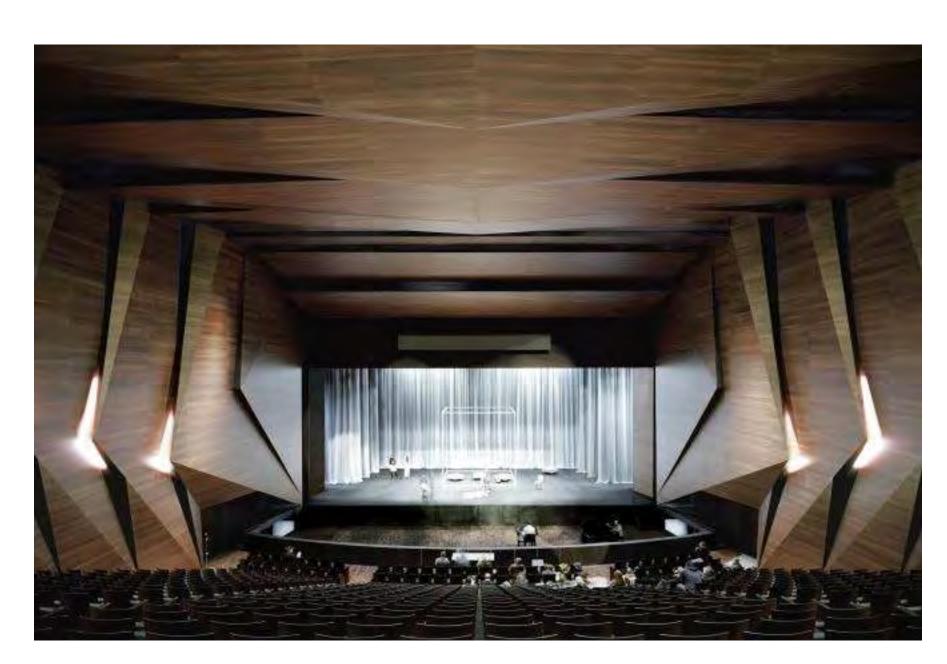
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TYPICAL PLUMBING

ELEMENTS & FACILITIES

SCHEMATIC DESIGN

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Transformation
Active
Dynamic
Playful



Complements the Exterior



Color Palette Inspiration





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CROFTON, MD 21114

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ARCHITECTURE

LANDSCAPE ARCHITECTURE

PLANNING

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Project Name:

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Project Number: 221226.00

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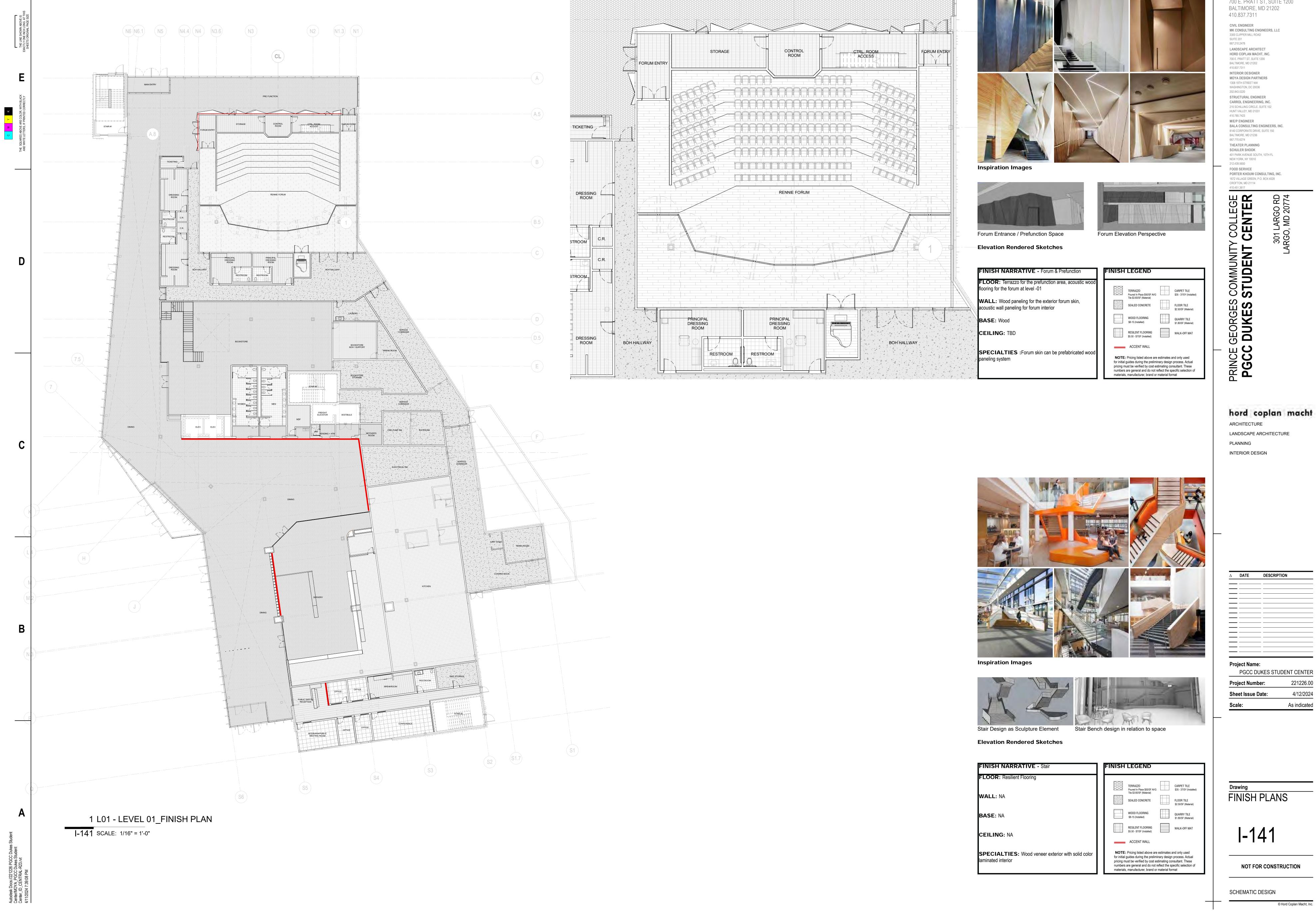
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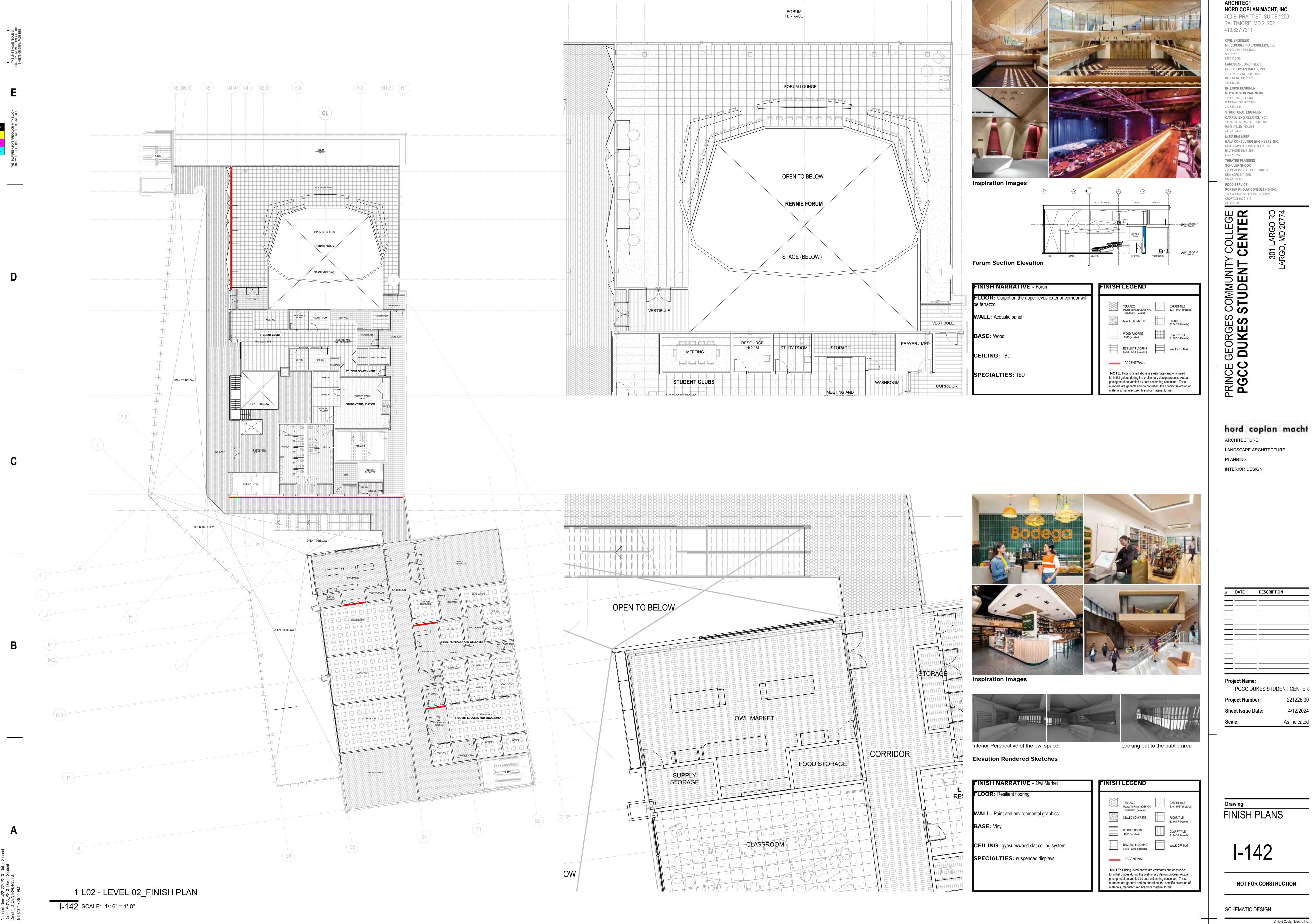


PRE FUNCTION

ARCHITECT HORD COPLAN MACHT, INC.

700 E. PRATT ST, SUITE 1200





ARCHITECT







700 E. PRATT ST, SUITE 1200

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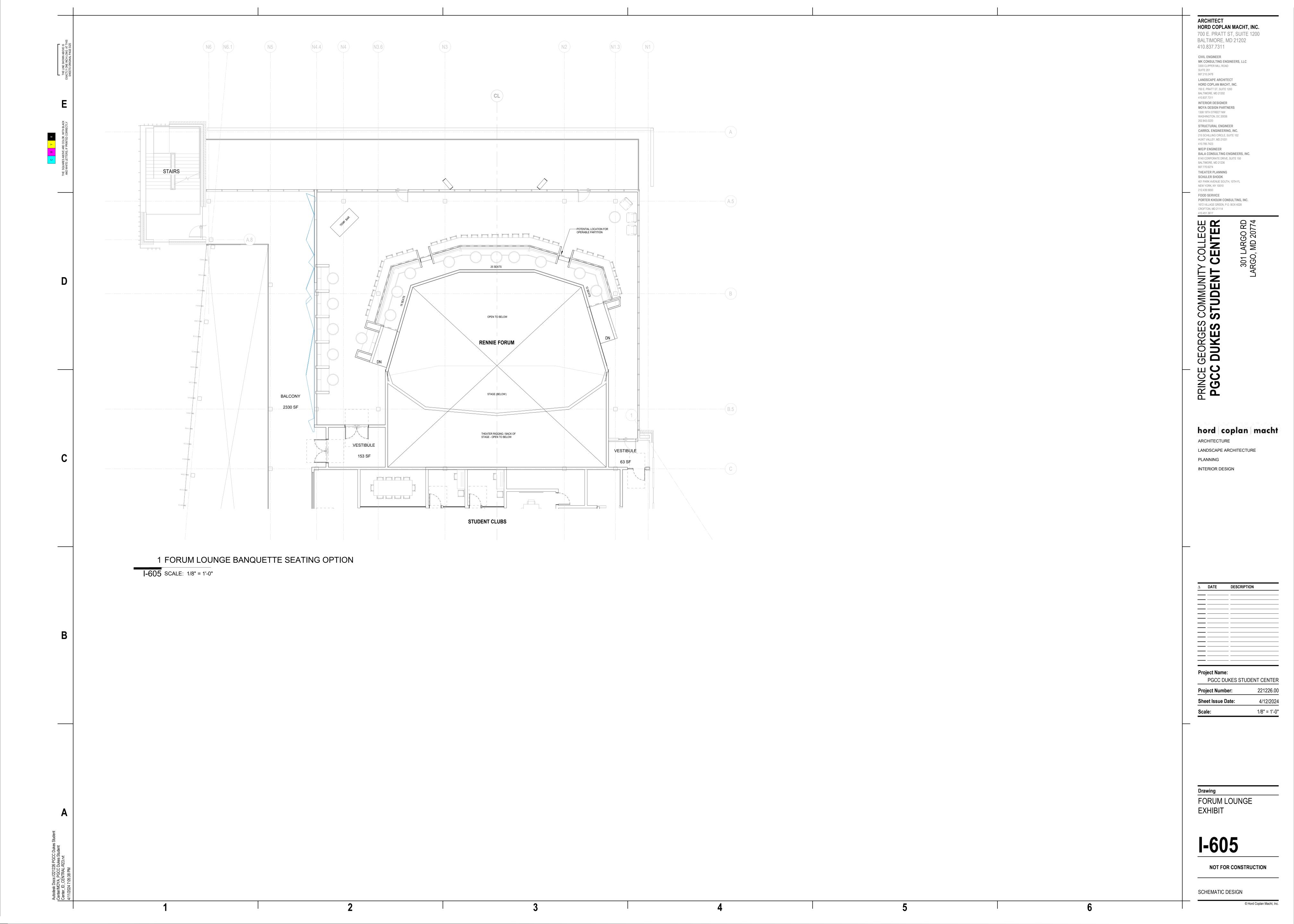
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LANDSCAPE ARCHITECTURE

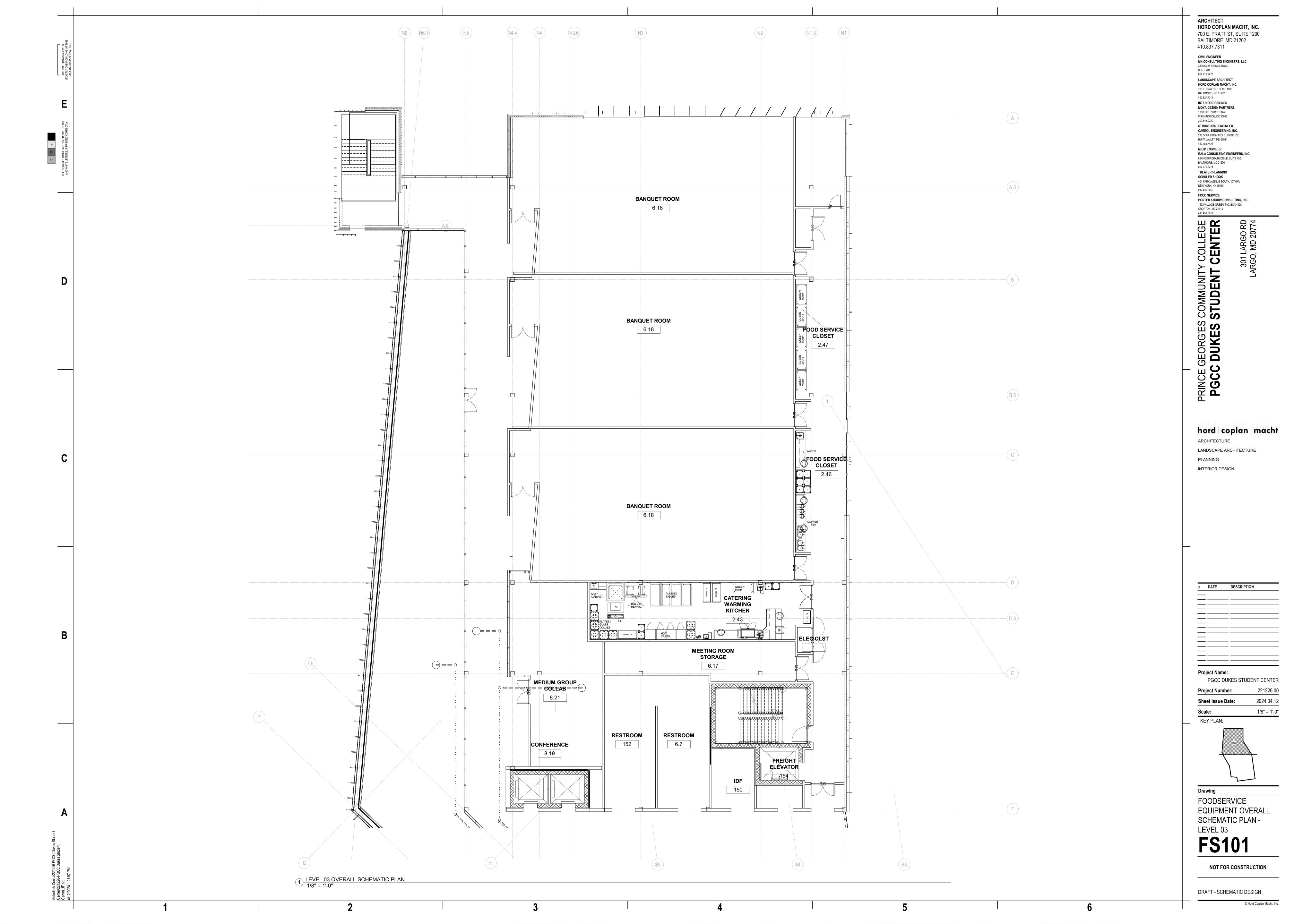
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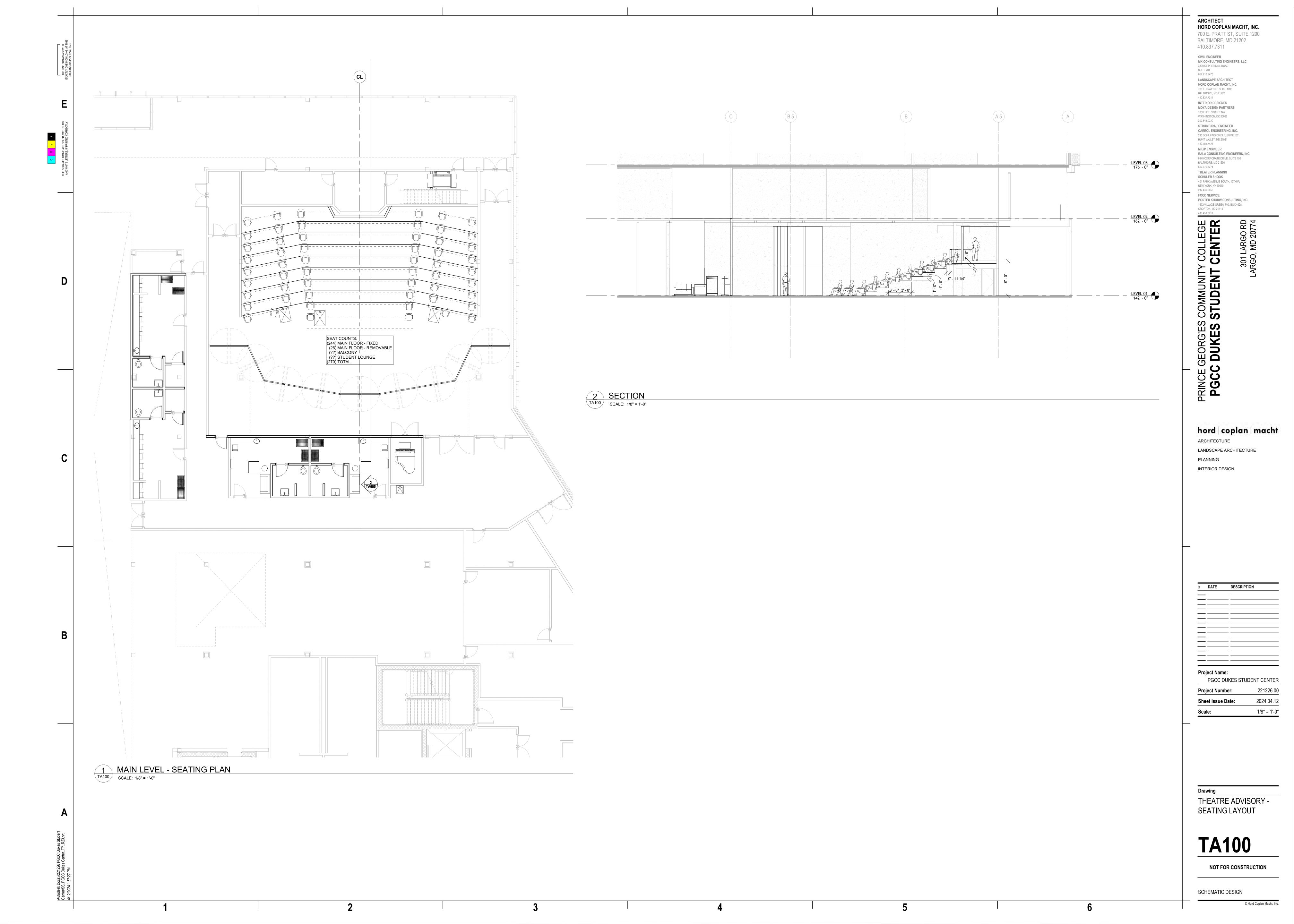
4/12/2024 As indicated

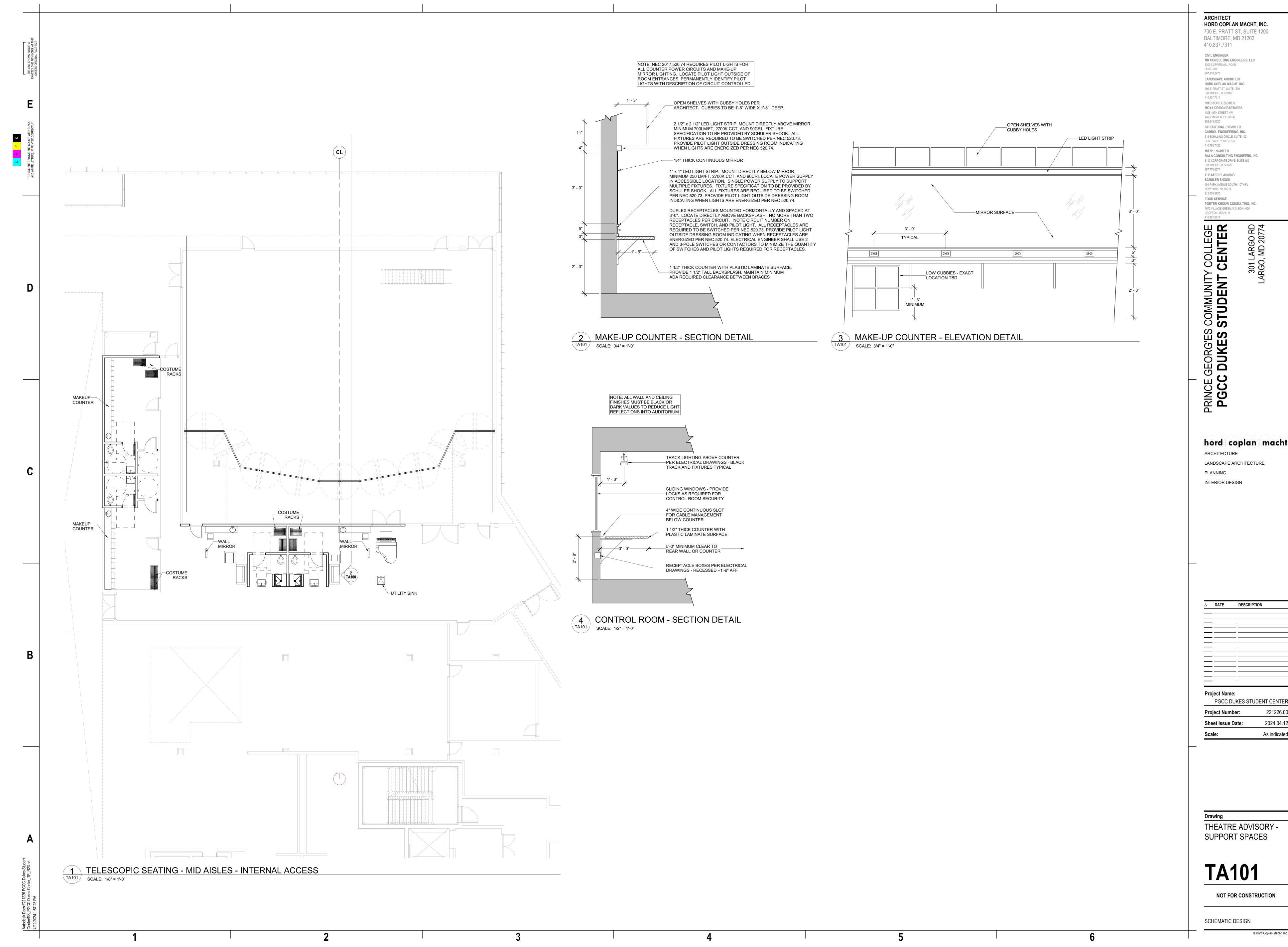
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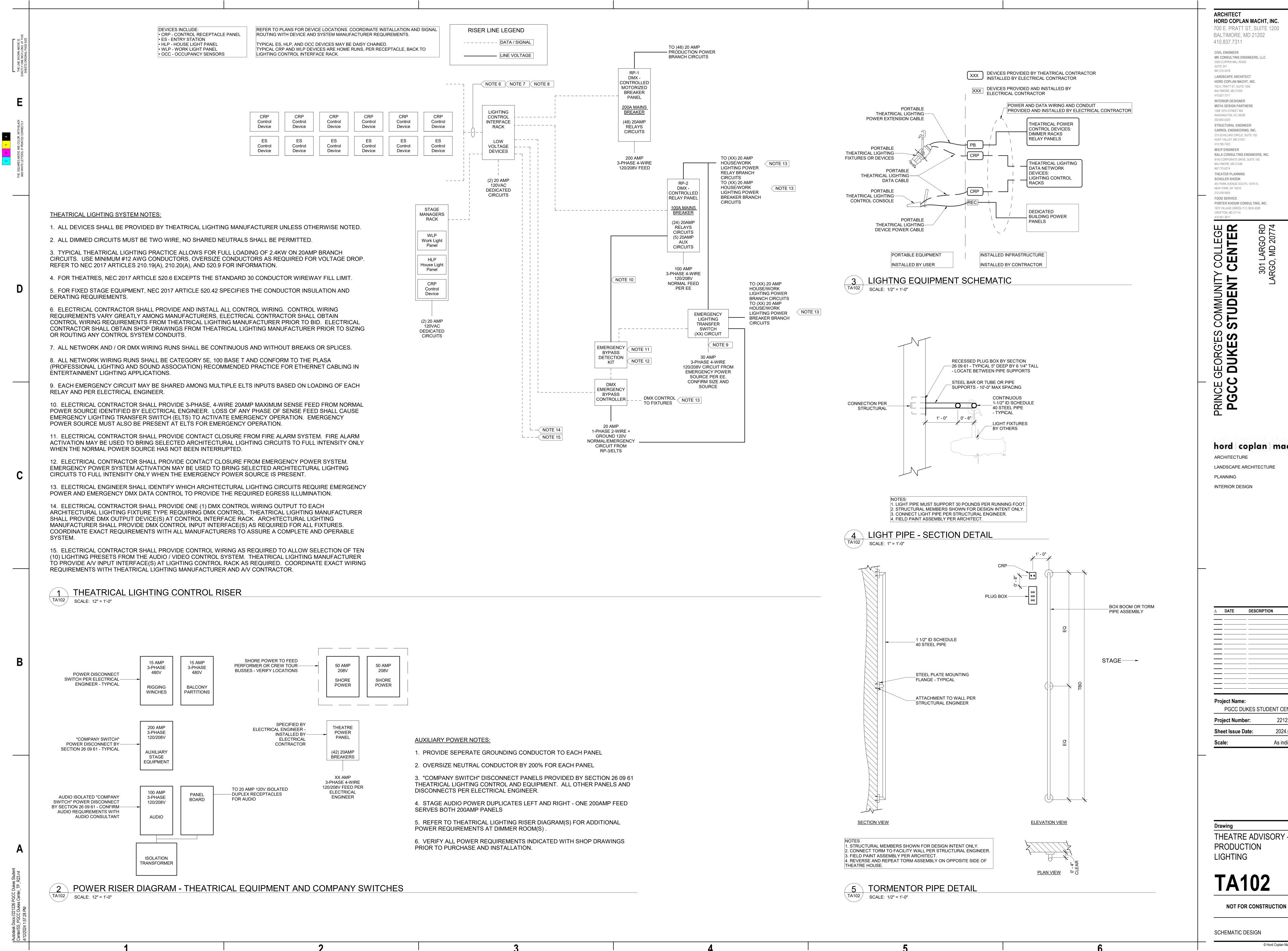
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LANDSCAPE ARCHITECTURE

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SUPPORT SPACES



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LANDSCAPE ARCHITECT HORD COPLAN MACHT, INC 700 E. PRATT ST. SUITE 1200 BALTIMORE, MD 21202 INTERIOR DESIGNER

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ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING

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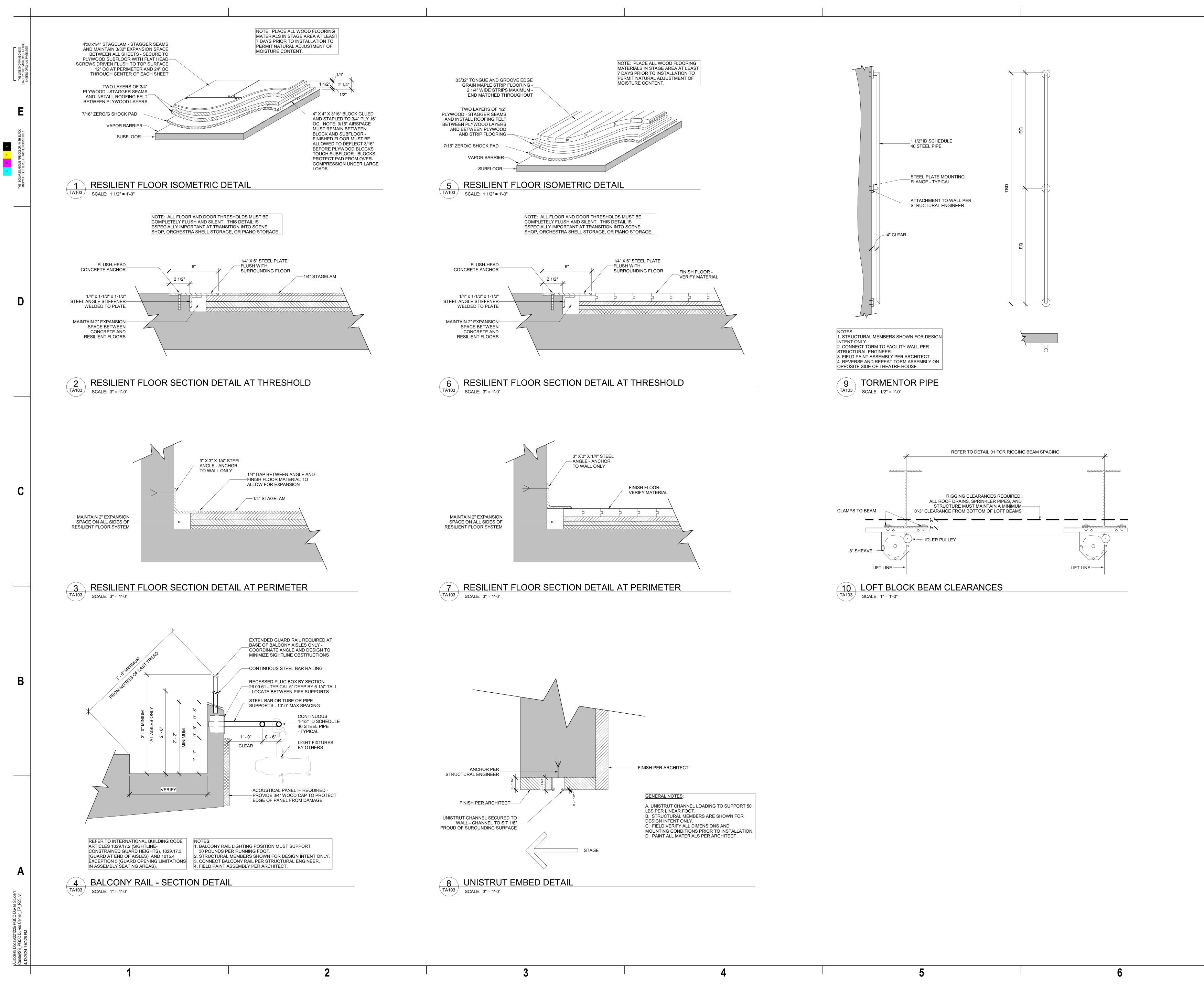
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THEATRE ADVISORY -PRODUCTION LIGHTING

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Drawing
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THEATRE ADVISORY -THEATRE DETAILS

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